



OPEN MEETING

REGULAR OPEN MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

**Thursday, February 15, 2024 – 9:30 a.m.
Laguna Woods Village Board Room /Virtual Meeting
24351 El Toro Road, Laguna Woods, CA 92637**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of two options:

1. Join via Zoom by clicking this link: <https://us06web.zoom.us/j/91432172027> or by calling 669-900-6833 Webinar ID: 91432172027.
2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.

NOTICE and AGENDA

This Meeting May Be Recorded

1. Call to Order
2. Acknowledgement of Media
3. Approval of Agenda
4. Approval of Meeting Report for January 18, 2024
5. Chair's Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Division Manager Update

8. Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
 - a. Monthly Mutual Consent Report

9. Variance Requests
 - a. 59-G: Variance to Install a Fence and Gate
 - b. 372-D: Variance to Add Windows
 - c. 301-A: Variance to Extend Living Room into Patio Area

10. Items for Discussion and Consideration
 - a. Revision to Standard 20: Patio Covers; Aluminum and Vinyl

- b. Enact Standard 39: Balcony Enclosures

11. Items for Future Agendas

- a. Revision to Standard 22: Patio Slab
- b. Revision to Standard 11: Doors; Exterior

12. Concluding Business

- a. Committee Member Comments
- b. Date of Next Meeting – Thursday, March 21, 2024 at 9:30 a.m.
- c. Adjournment

*A quorum of the United Board or more may also be present at the meeting.

Anthony Liberatore, Chair
Alan Grimshaw, Staff Officer
Telephone: 949-597-4616



OPEN MEETING

**REPORT OF THE REGULAR OPEN MEETING OF THE
UNITED LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE***

**Thursday, January 18, 2024 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California**

REPORT

MEMBERS PRESENT: Anthony Liberatore – Chair, Ellen Leonard, Sue Quam

STAFF PRESENT: Bart Mejia – Maintenance & Construction, Laurie Chavarria – Sr. Management Analyst, Alan Grimshaw – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Manor Alterations Inspector II, Josh Monroy – Manor Alterations Coordinator

1. Call Meeting to Order

The committee took a short recess.

Chair Liberatore called the meeting to order at 9:35 a.m.

2. Acknowledgement of Media

The meeting was being broadcast on Granicus and Zoom. No media was present.

3. Approval of the Agenda

The agenda was amended. The title for item 10a. was revised to *Revision to Standard 20: Balcony and Patio Covers*. The title for item 10b. was revised to *Enact Standard 39: Balcony*

Patio Enclosures. The following item was added to the agenda 11b. *Revision to Standard 11: Doors; Exterior.* Hearing no objection, the agenda was approved as amended.

4. Approval of the Meeting Report for December 21, 2023

Hearing no objection, the meeting report was approved by consent.

5. Chair's Remarks

None.

6. Member Comments - (Items Not on the Agenda)

None.

7. Division Manager Update

None.

8. Consent

Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

Hearing no objection, the Monthly Mutual Consent Calendar was approved unanimously.

a. Mr. Grimshaw discussed the number of mutual consents issued and completed over a five-month period.

9. Variance Requests

None.

10. Items for Discussion and Consideration

a. Revision to Architectural Standard 20: Balcony and Patio Covers

The committee had questions regarding section 4.2's prohibition on patio covers over atriums that serve as a means of egress from a 'sleeping room'. They requested that staff provide them with the code requirements related to exiting into an open space.

A motion was made to refer the standard back to staff for further consideration. Hearing no objection, the motion was approved by unanimous consent.

b. Enact Standard 39: Balcony Patio Enclosures

Mr. Grimshaw provided a brief overview of the proposed standard and how it complements Standard 20. Discussion ensued regarding its applicability, types of materials and regulatory requirements.

A motion was made to refer the standard back to staff for further consideration. Hearing no objection, the motion was approved by unanimous consent.

Mr. Mejia joined the dais at 10:04 a.m.

c. Revision to Resale Inspection Fees

Mr. Mejia informed the committee that the last time the resale inspection fees were updated was fifteen years ago. The chargeable rates have since changed as has the scope of work.

A motion was made to recommend the United Board approve the revision to the resale inspection fees. Hearing no objection, the motion was approved by unanimous consent.

11. Items for Future Agendas

- a. Revision to Standard 20: Balcony and Patio Covers
- b. Enact Standard 39: Balcony and Patio Enclosures
- c. Revision to Standard 22: Patio Slab
- d. Revision to Standard 11: Doors; Exterior

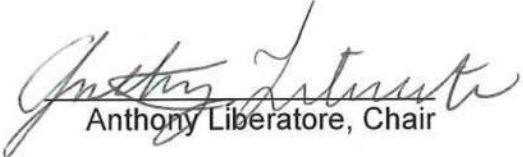
12. Committee Member Comments

- Director Leonard requested diagrams for all standards going forward to assist with understanding the material.

13. Date of Next Meeting: February 15, 2024 at 9:30 a.m.

14. Adjournment

The meeting was adjourned at 10:12 a.m.



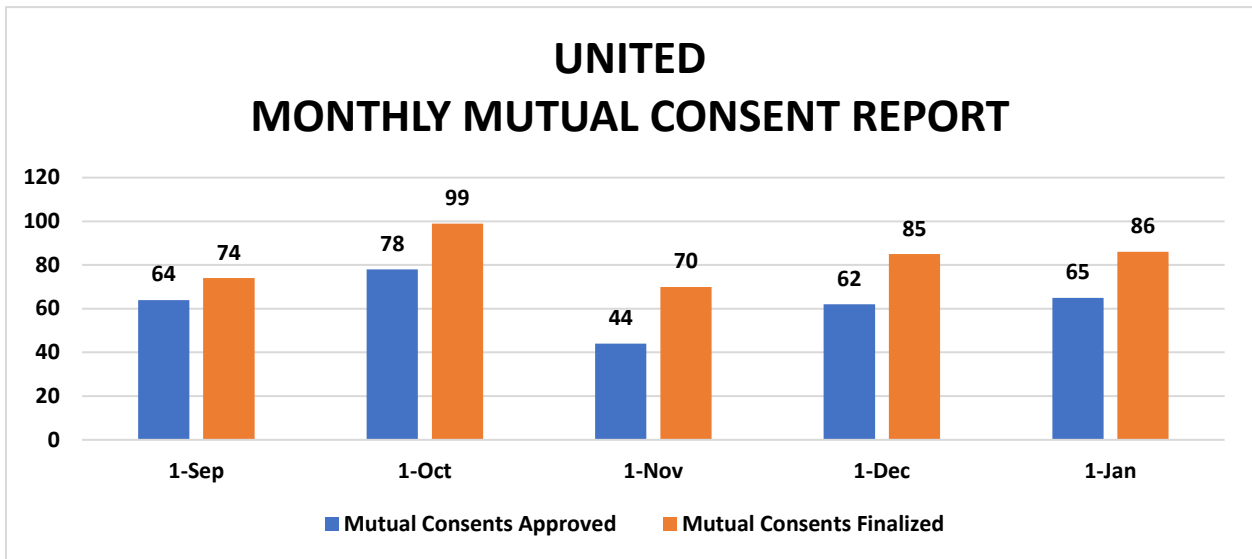
Anthony Liberatore, Chair

Anthony Liberatore, Chair
Alan Grimshaw, Manor Alterations Manager
Telephone: 949-597-4616

This Page Left Intentionally Blank



UNITED LAGUNA WOODS
MUTUAL



This Page Left Intentionally Blank

United ACSC – Thursday, February 15, 2024

Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	59-G	Install a wrought iron fence and gate at entry	<p style="text-align: center;"><u>GENERAL NOTES:</u></p> <ul style="list-style-type: none"> • 59-G is one of eight-manor building. • Variance is to install a wrought iron fence and gate at entry. • The fence will enclose common area and require maintenance to enter the gate. <p>Staff Recommendation: Deny – Fence location does not meet standard</p>
B	372-D	Install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry	<ul style="list-style-type: none"> • 372-D is one of a four-manor building. • Variance is to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry <p>Staff Recommendation: Approve</p>
C	301-A	Extend living room into patio area 5'-11"x 17'-3"	<p>Staff Recommendation: Approve</p> <ul style="list-style-type: none"> • 301-A is one of a four-manor building. • Variance to extend living room into patio area 5'-11"x 17'-3". • Add a door to the living room extension that opens into the garden area with a landing of interlocking pavers. <p>Staff Recommendation: Approve</p>

(*) The following attachments are included for your review and reference. Should any of these requests be recommended for approval, the final version of these documents will become the attachments to the United Laguna Woods Mutual Board staff report:

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution

ATTACHMENT 1
VARIANCE REQUEST
FORM

MANOR # 596
 ULWM TLHM

Variance Request Form

SA _____

Model: <u>GRANADA</u>	Plan:	Date: <u>1-8-2024</u>
Member Name: [REDACTED]	Signature: [REDACTED]	
Phone: [REDACTED]	E-mail: [REDACTED]	
Contractor Name/Co: <u>Ferro Iron, Inc.</u>	Phone: <u>714-749-1257</u>	E-mail: <u>FerroIronInc@gmail.com</u>
Mailing Address: (to be used for official correspondence) [REDACTED]		

Description of Proposed Variance Request ONLY:

FABRICATE & INSTALL metal fencing 60 inches tall with arched top gate to enclose courtyard area

Dimensions of Proposed Variance Alterations ONLY:

60" tall fencing
67" - 68" arched gate

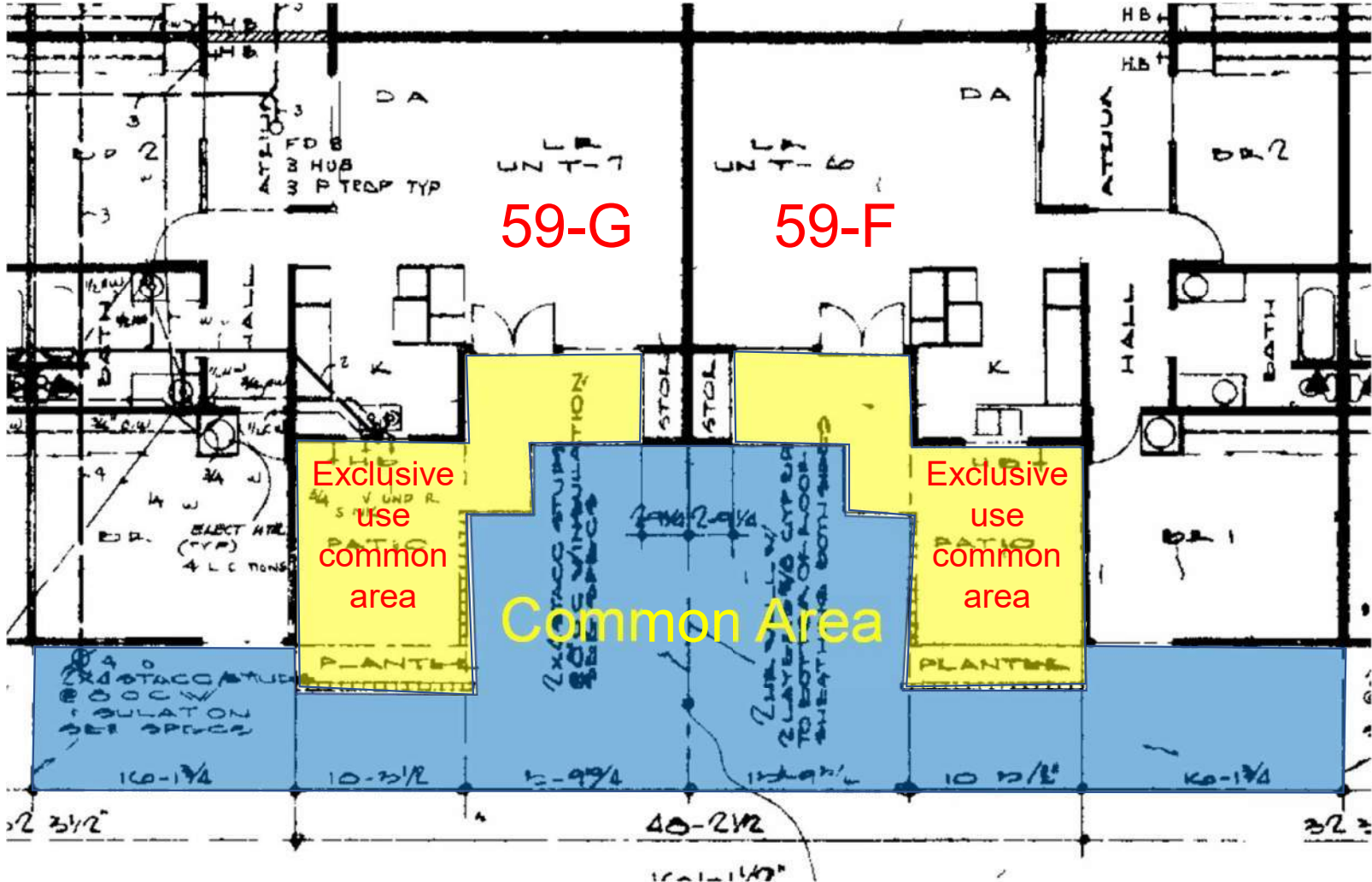
PAID

RECEIVED BY: CCM DATE RECEIVED: 1/10/23 Check# CC199032 BY: MONA Gustafson

<p>Alteration Variance Request</p> <p>Check Items Received:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ 	<p>Complete Submittal Cut Off Date:</p> <p>Meetings Scheduled:</p> <p>Third AC&S Committee (TACSC): _____</p> <p>United AC&S Committee: _____</p> <p>Board Meeting: _____</p> <p> <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____ </p>
--	---

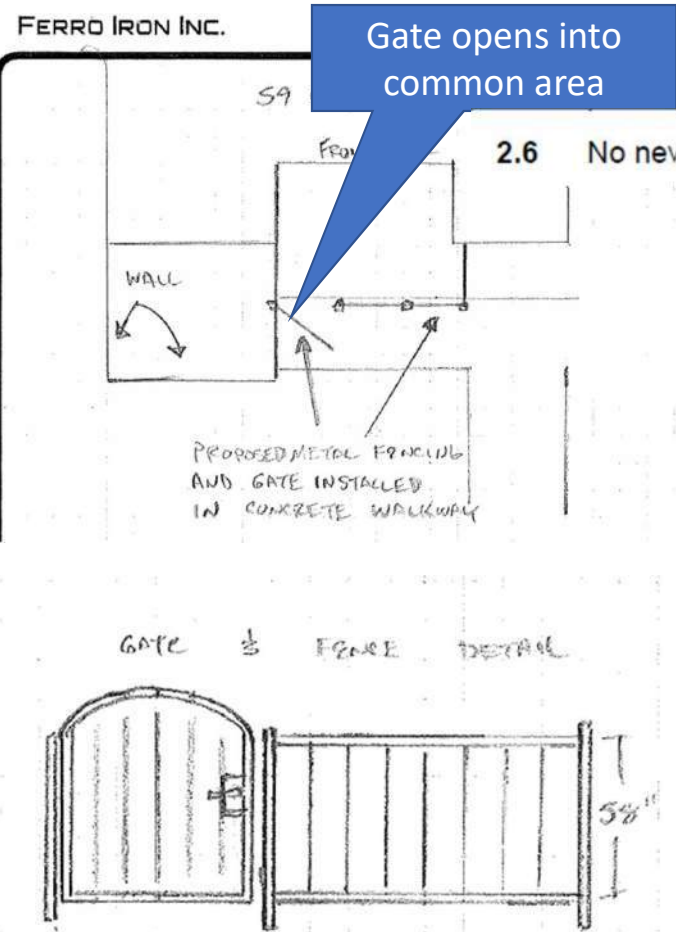
ATTACHMENT 2
PHOTOS

Exclusive and Common Area at 59-F and 59-G



ATTACHMENT 2
PHOTOS

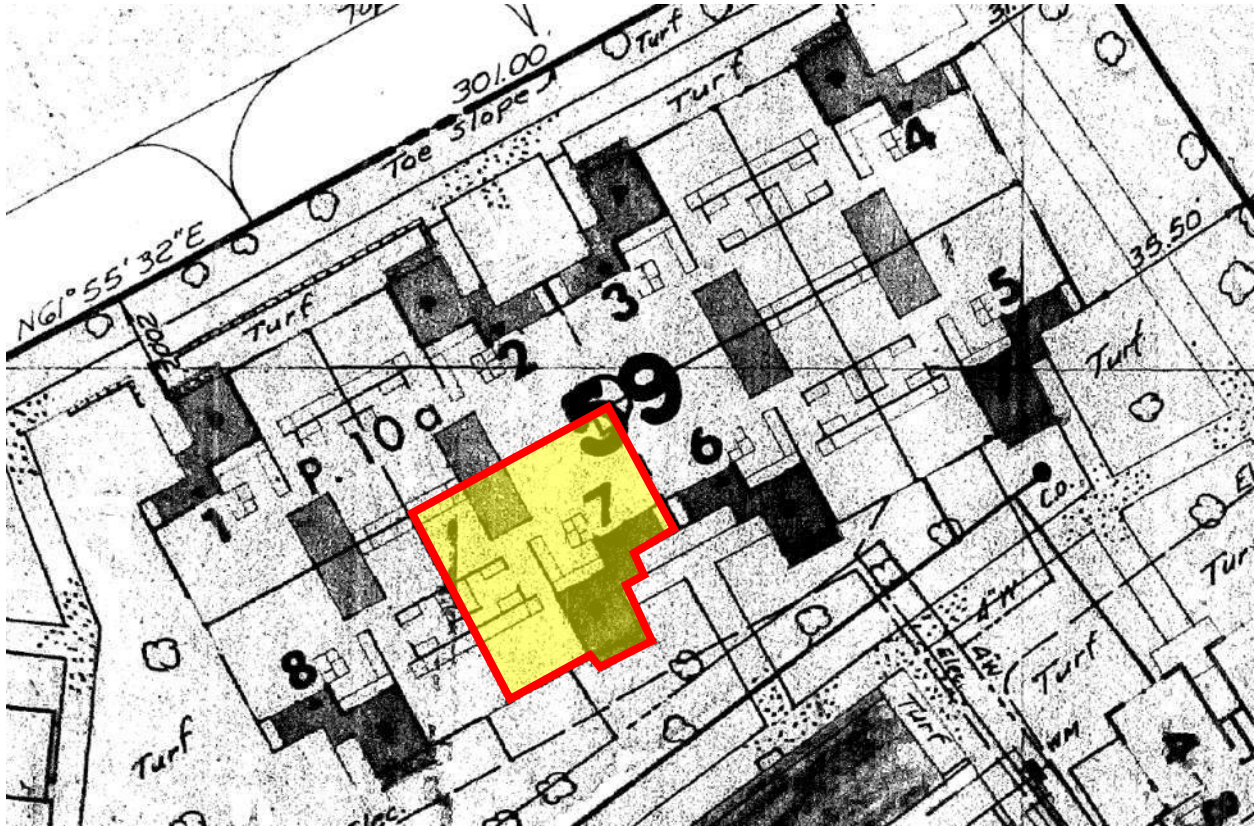
59-G Fence and Gate

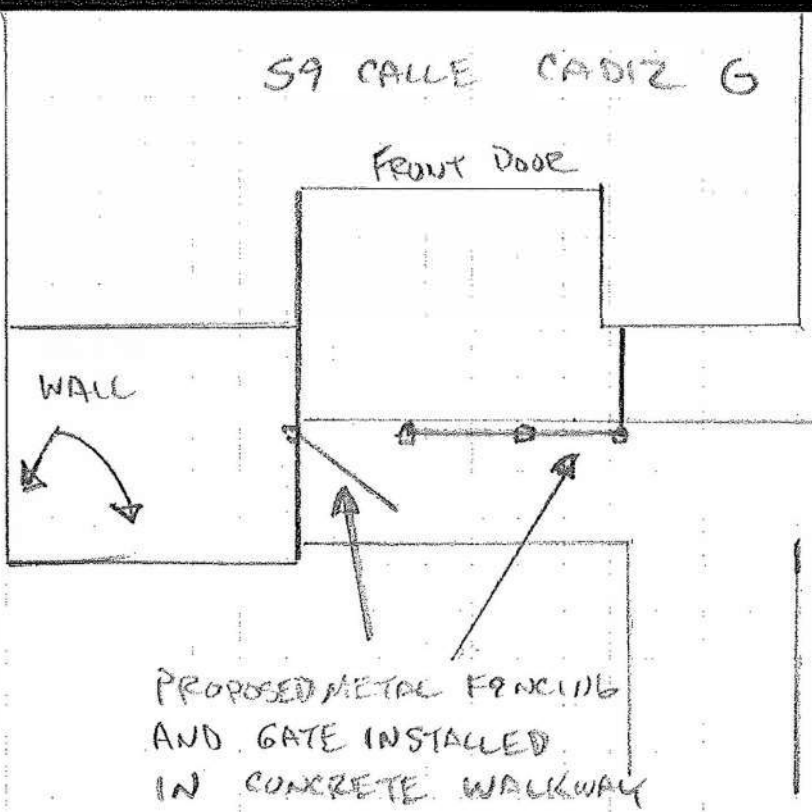


ATTACHMENT 3
AERIAL

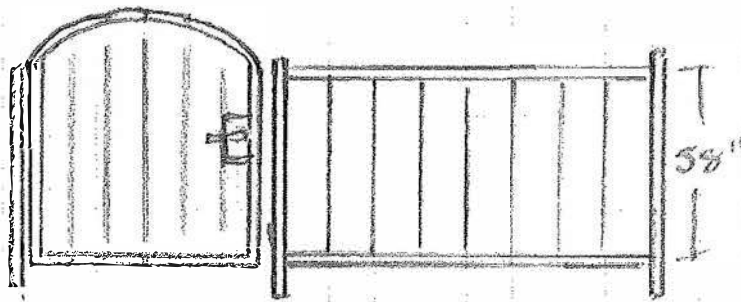


ATTACHMENT 3
LOCATION MAP





GATE & FENCE DETAIL



NOT TO SCALE

CONDITIONS OF APPROVAL

Manor: 59-G

Variance Description: Install a wrought iron fence and gate at entry

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the fence, posts, and gate to be installed shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 59 Calle Cadiz Unit G, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 59 Calle Cadiz Unit G and all future Mutual Members at 59 Calle Cadiz Unit G.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must

be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.21. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

DRAFT



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 59 Calle Cadiz Unit G, a Granada style manor, requests the Architectural Control and Standards Committee approval of a variance to install a wrought iron fence and gate at entry; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

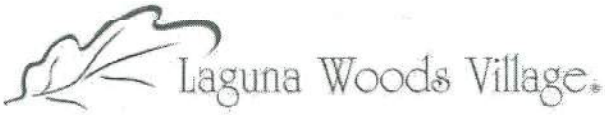
WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to install a wrought iron fence and gate at entry;

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to install a wrought iron fence and gate at entry; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 59 Calle Cadiz Unit G and all future mutual members at 59 Calle Cadiz Unit G; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

This Page Left Intentionally Blank



ATTACHMENT 1
VARIANCE REQUEST
FORM

MANOR # 372-D

ULWM TLHM

Variance Request Form

SA _____

Model: <u>Cordoba</u>	Plan: _____	Date: <u>11-13-23</u>
Member Name: _____	Signature: _____	
Phone: _____	E-mail: _____	
Contractor Name/Co: <u>SDB Enterprises Inc</u>	Phone: <u>949 633 0789</u>	E-mail: <u>Scotty.Burghardt@jsgmail.com</u>
Owner Mailing Address: (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

x 4 new 2x2 windows in Master bedroom
x 1 1'x4' frosted window above shower
x 1" x 6" T-mold & groove on entrance walkway
with 3 led CAN lights + 1 entrance light

Dimensions of Proposed Variance Alterations ONLY:

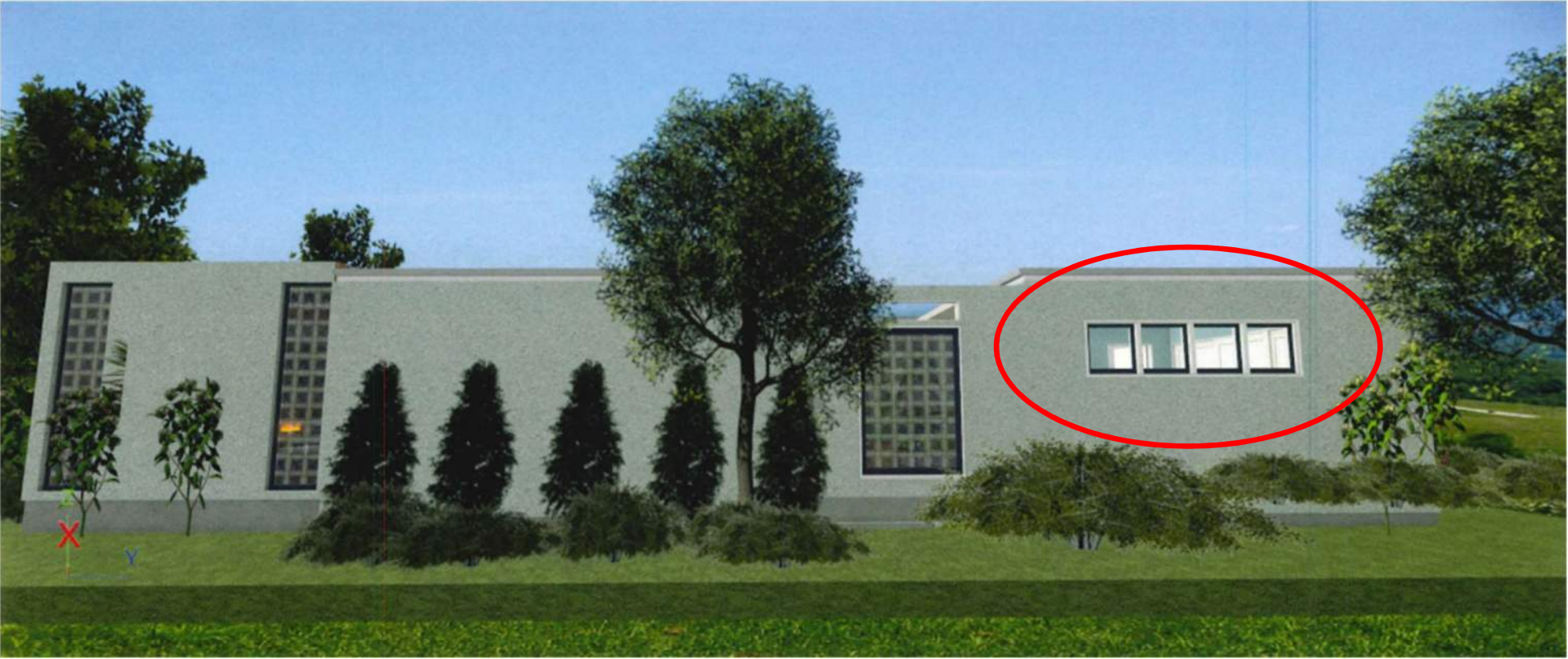
FOR OFFICE USE ONLY

RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ _____	Meetings Scheduled: Third AC&S Committee (TACSC): _____ United M&C Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

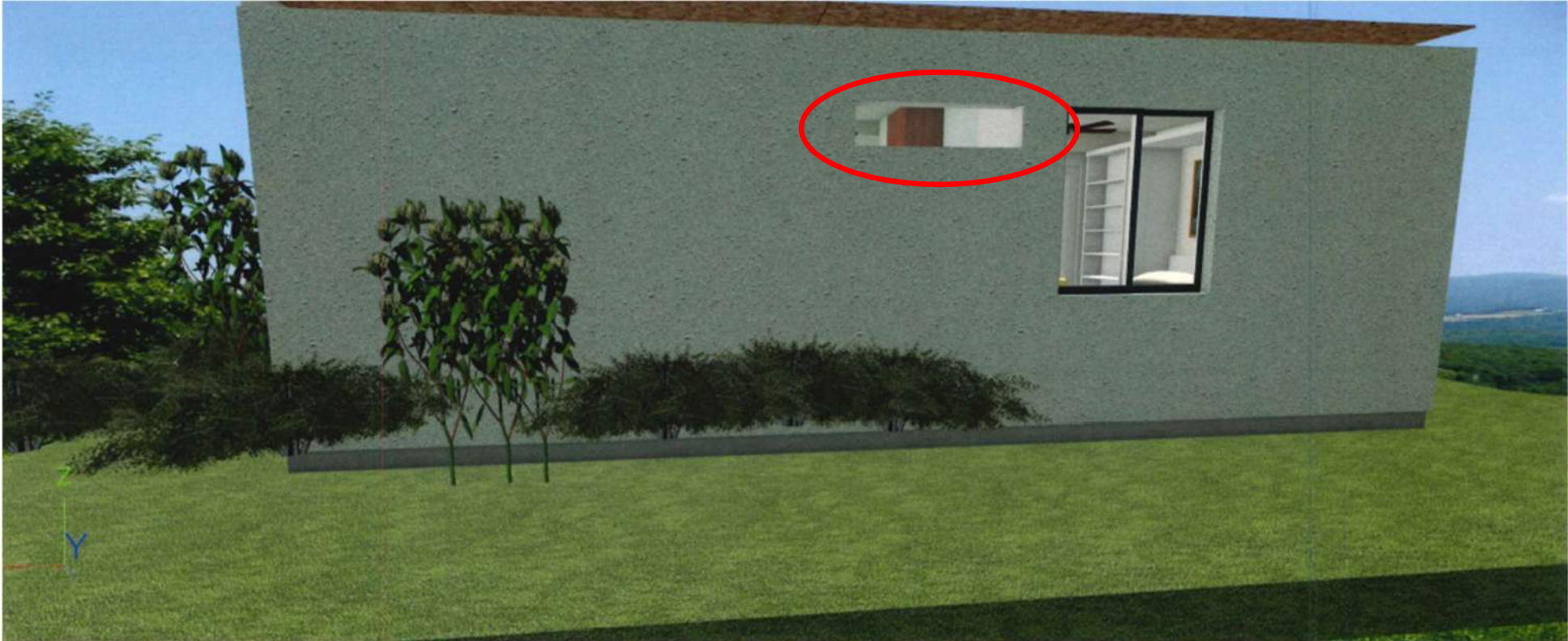
ATTACHMENT 2
PHOTOS

372-D 4 New 2'x2' Windows in Master Bedroom



ATTACHMENT 2
PHOTOS

372-D New 4'x1' Window in Shower
(View from Outside)



ATTACHMENT 2
PHOTOS

372-D 4'x1' Window in Shower
(View From Inside)

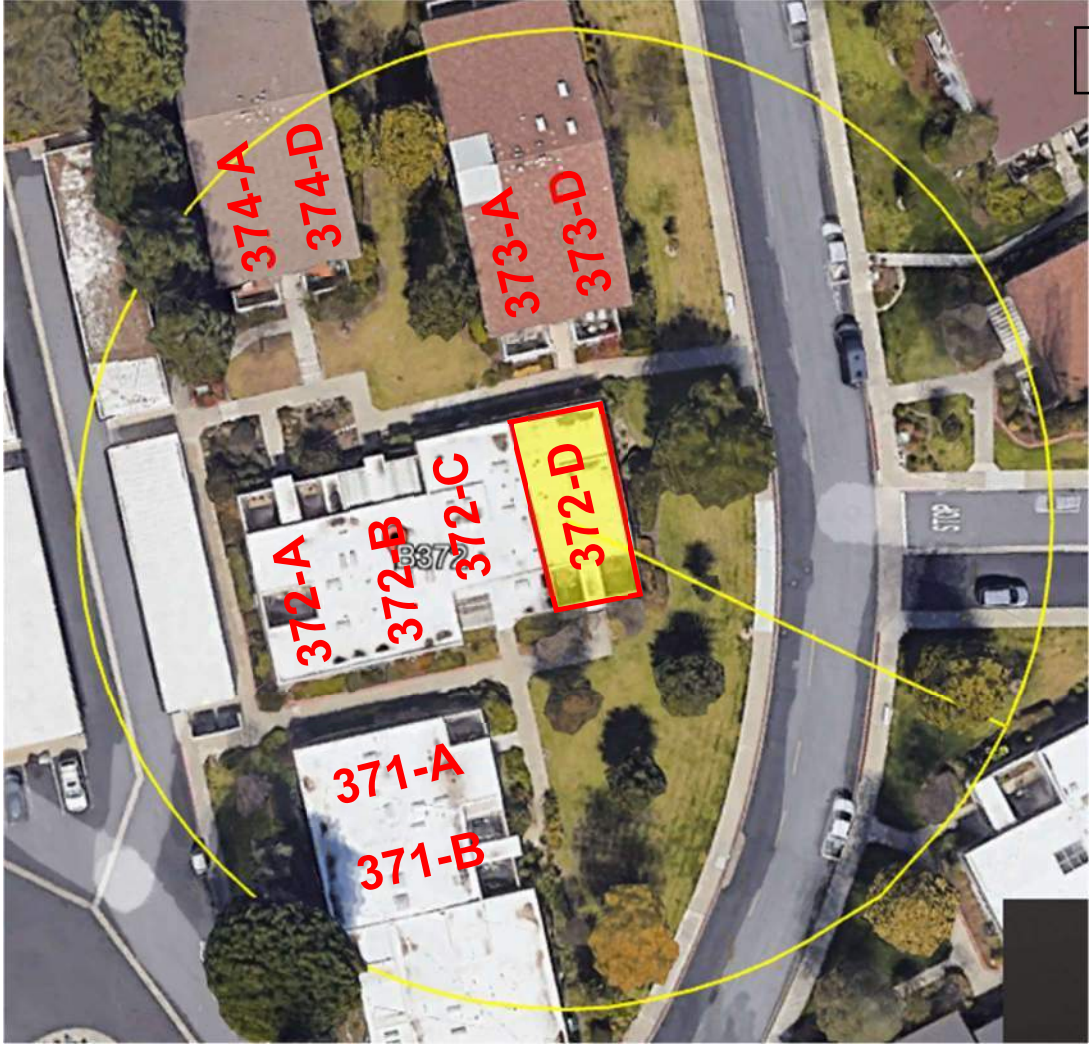


ATTACHMENT 2
PHOTOS

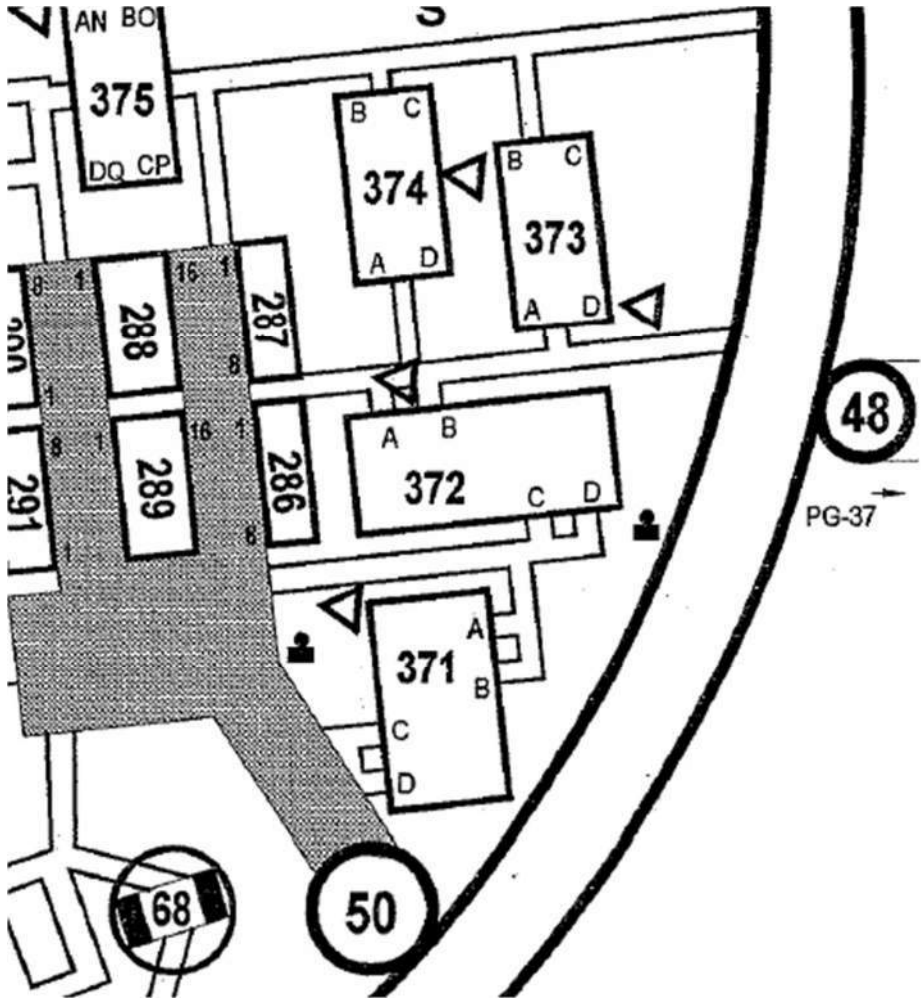
372-D Tongue and Groove Ceiling with Can Lights at
Entry



ATTACHMENT 3
AERIAL



ATTACHMENT 3
LOCATION MAP

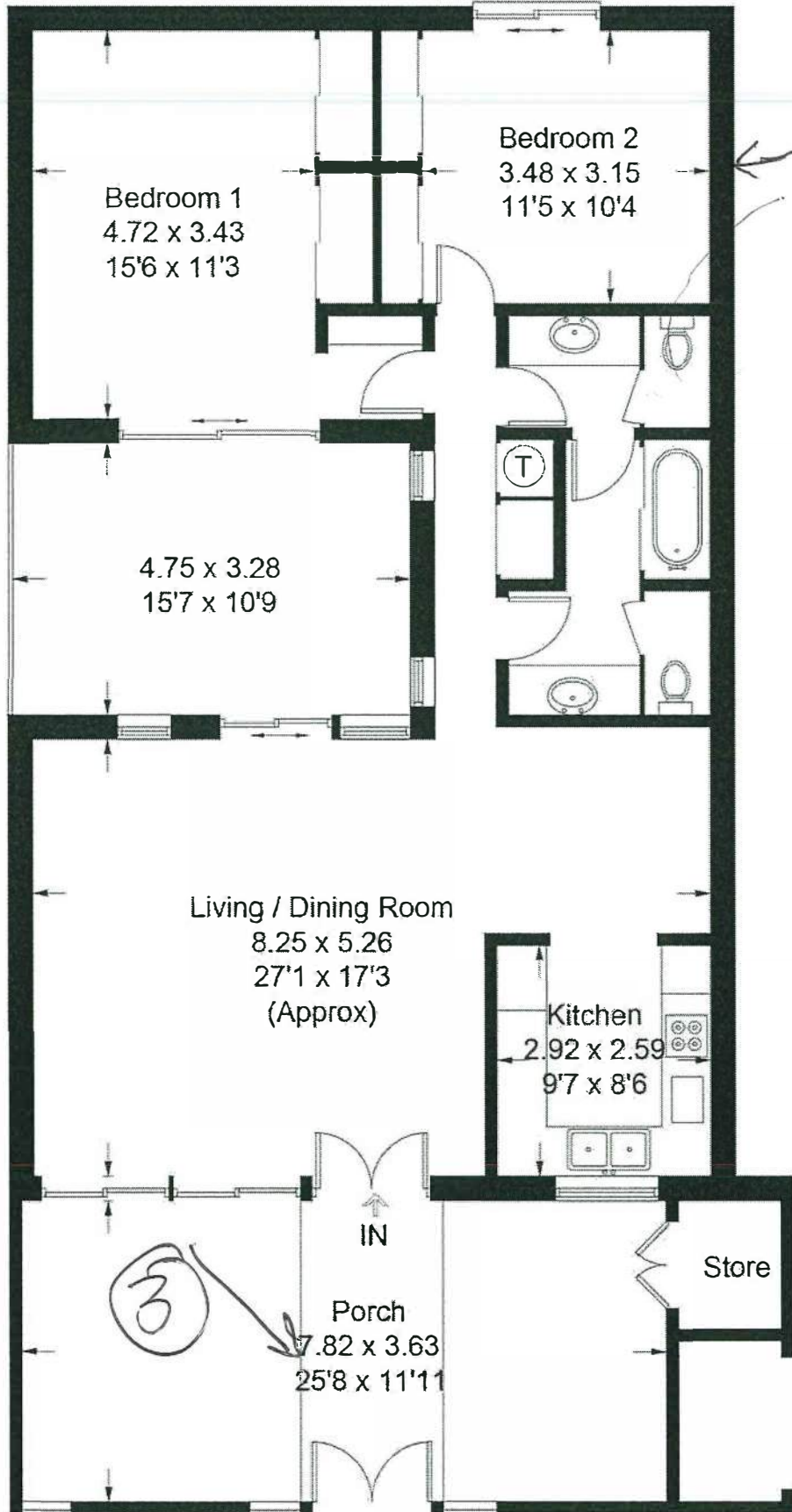


ATTACHMENT 4 FLOOR PLANS

Cordoba

new 1' x 4' foot above new Shower

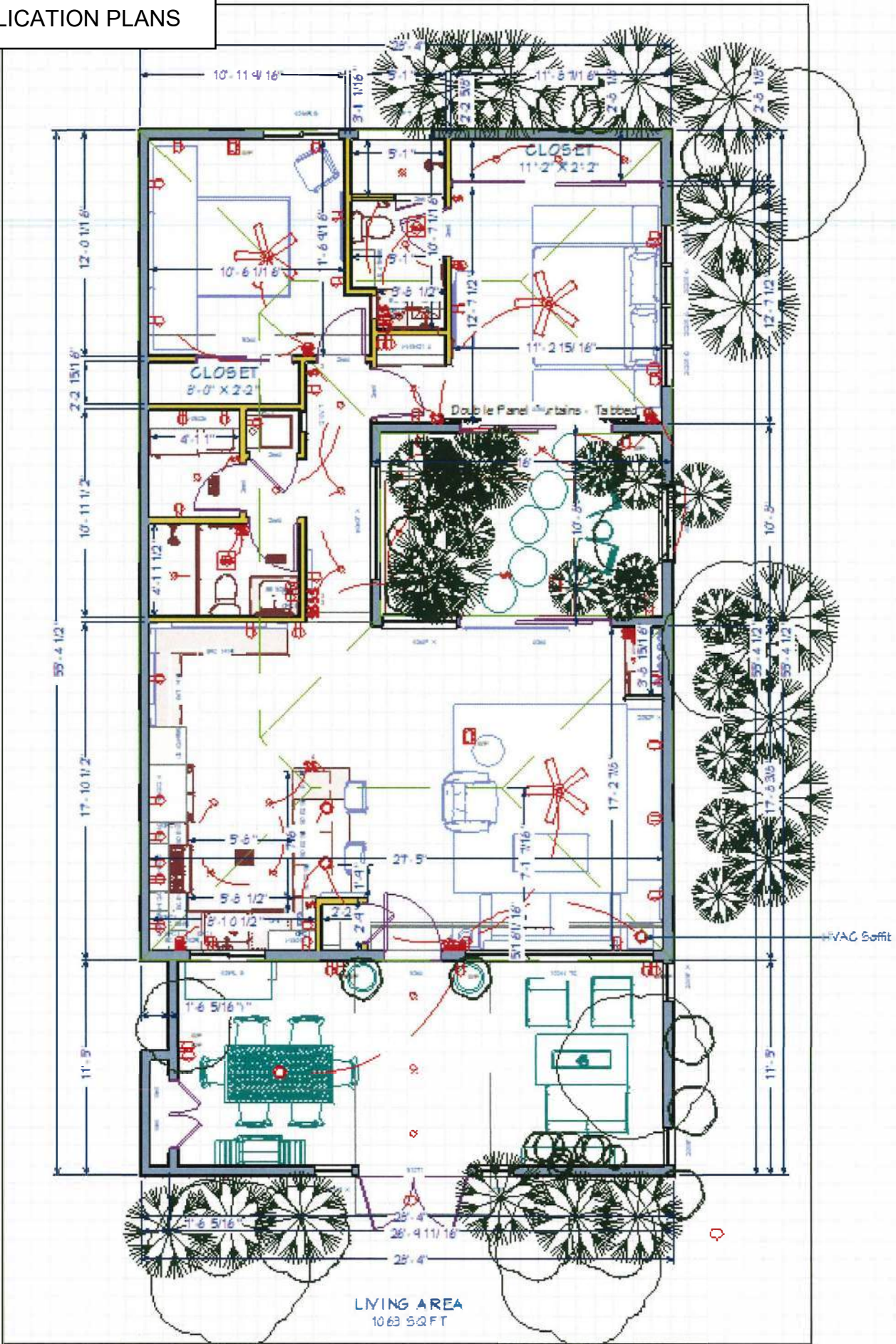
Approximate Gross Internal Area = 103.1 sq m / 1110 sq ft



4 new 2' x 2' windows AS PER PLAN

Illustration for identification purposes only, measurements are approximate, not to scale. FloorplansUsketch.com © 2017 (ID367226)

ATTACHMENT 4
APPLICATION PLANS



CONDITIONS OF APPROVAL

Manor: 372-D

Variance Description: New windows - 4-2'x2' Master Bedroom, 1-4'x1' Shower and Tongue and groove wood ceiling with can lights at entry

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the fence, posts, and gate to be installed shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 372 Avenida Castilla Unit D, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 372 Avenida Castilla Unit D and all future Mutual Members at 372 Avenida Castilla Unit D.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an

application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum

of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.21. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

DRAFT



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 372 Avenida Castilla Unit D, a Cordoba style manor, requests the Architectural Control and Standards Committee approval of a variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry;

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 372 Avenida Castilla Unit D, and all future mutual members at 372 Avenida Castilla Unit D; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

This Page Left Intentionally Blank

Variance Request Form

Model: Madrid	Plan:	Date: 12/1/23
Member Name: [REDACTED]	Signature [REDACTED]	
Phone: [REDACTED]	E-mail: [REDACTED]	
Contractor Name/Co: Zak kaldawi. Kalcon	Phone: 1 (503) 341-8049	E-mail: zkaldawi@pmcsgroup.net
Mailing Address: (to be used for official correspondence) [REDACTED]		

Description of Proposed Variance Request ONLY:

Move front wall into patio. Add a door to exterior facing wall.

Dimensions of Proposed Variance Alterations ONLY:

Wall being moved is 17'-3" Its is being moved into the patio 5'-11"

The door is going to be on the external wall within the new space created. On the design it is currently maredked as a window. But that is incorrect. It should be a standard 36"x80" door.

FOR OFFICE USE ONLY

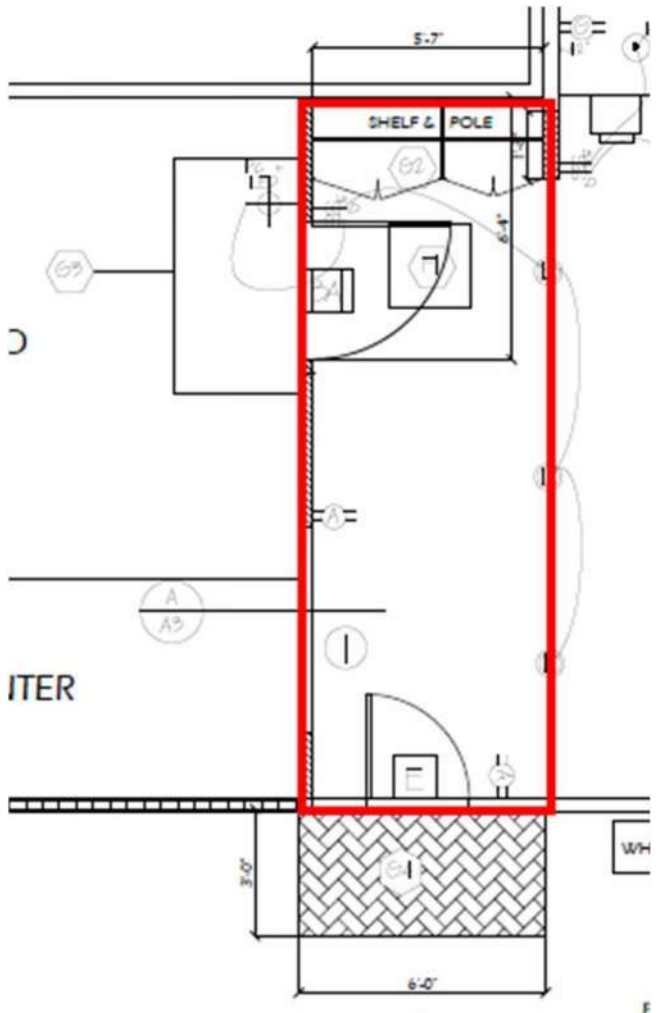
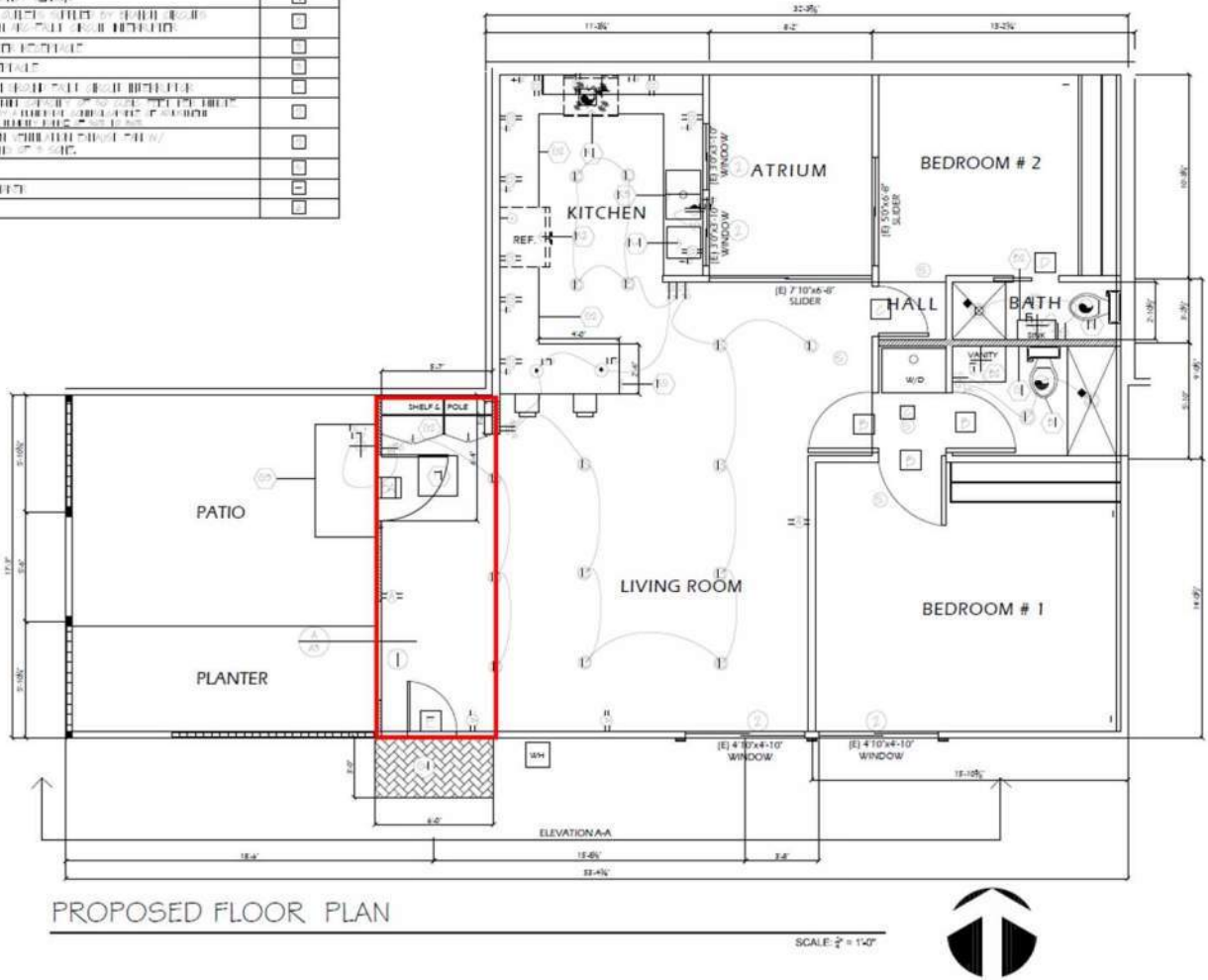
RECEIVED BY: _____ DATE RECEIVED: _____ Check# _____ BY: _____

Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: <ul style="list-style-type: none"> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ 	Meetings Scheduled: Third AC&S Committee (TACSC): _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

ATTACHMENT 2
PHOTOS

301-A Extend Living Room into Patio area

	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>



ATTACHMENT 2
PHOTOS

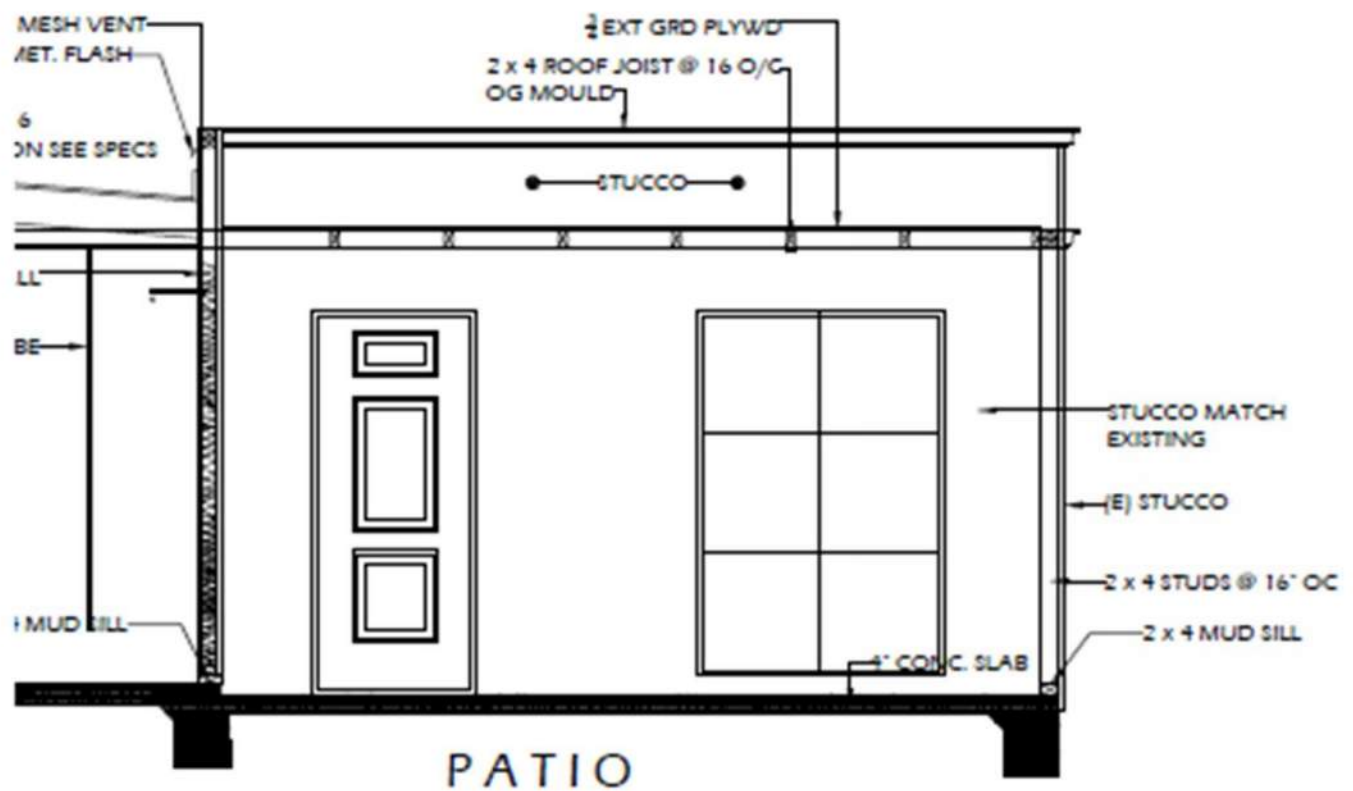
301-A Add Door off Extended Living Room



SIDE ELEVATION (A-A)

ATTACHMENT 2
PHOTOS

301-A Entry



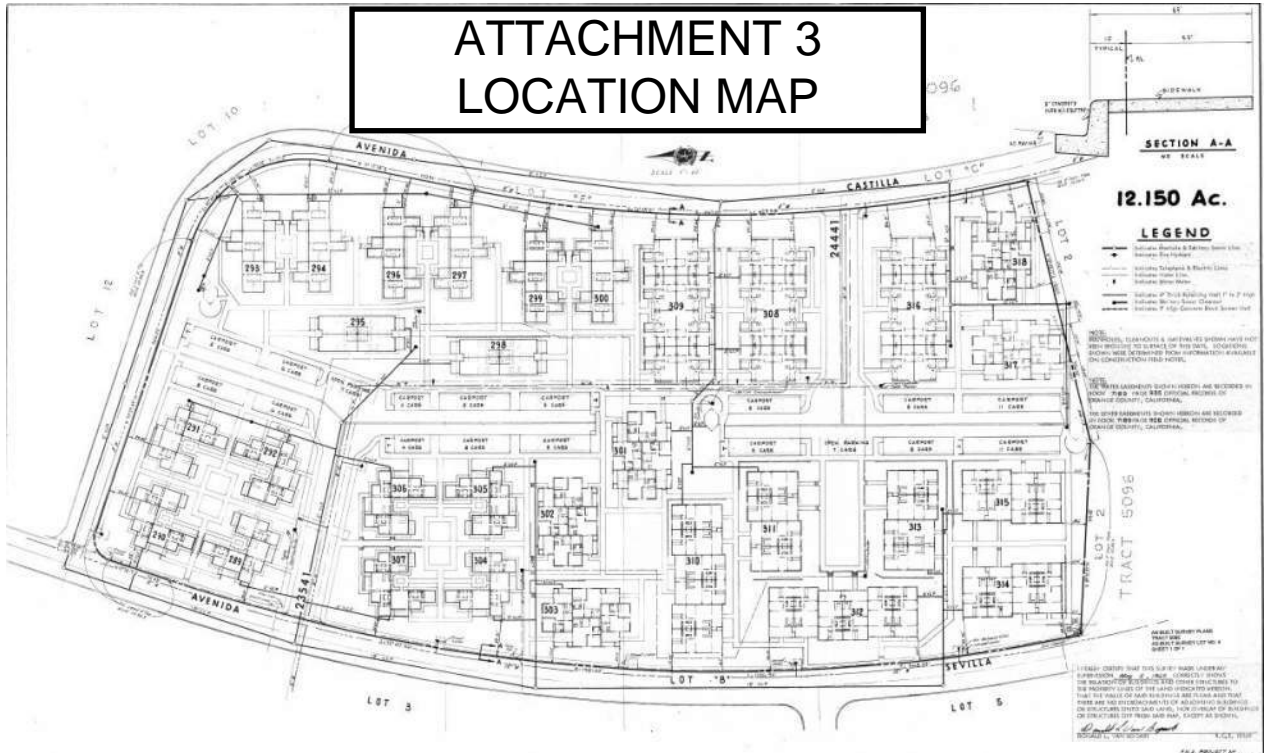
ENTRY ELEVATION

ATTACHMENT 3
AERIAL

301-A Avenida Sevilla



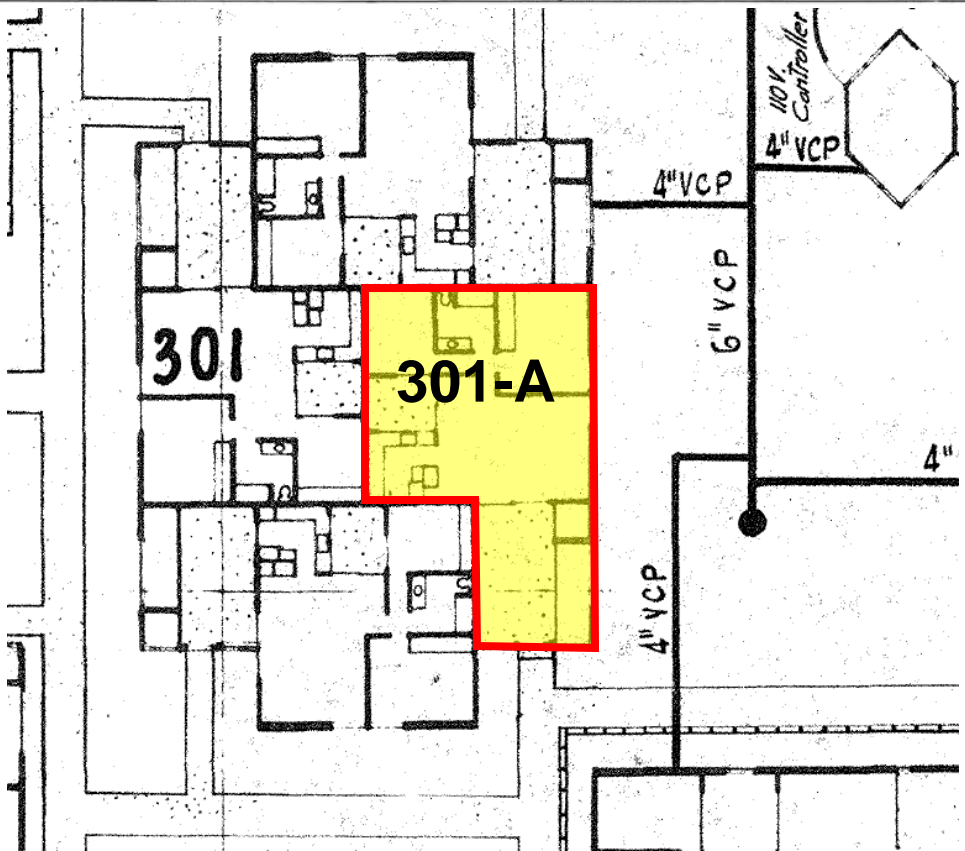
ATTACHMENT 3 LOCATION MAP



RESTRICTIVE NOTICE—ARCHITECTURAL DRAWINGS
THE INFORMATION, DATA, SPECIFICATIONS AND CONDITIONS CONTAINED IN THIS DRAWING ARE THE PROPERTY OF TOUPS ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TOUPS ENGINEERING, INC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

TOUPS ENGINEERING, INC.
ARCHITECTURAL ENGINEERS
SANTA ANA
FULLERTON
EL TORO

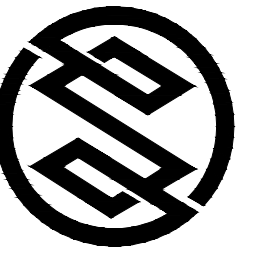
AS BUILT SURVEY
TRACT 5096
LOT # 4
SHEET 10



CONSOLE RESIDENCE ADDITION

301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

ATTACHMENT 4 FLOOR PLANS



SLIM DESIGN
CONSULTING LLC
RESIDENTIAL & COMMERCIAL
TEL: (310) 467-1387
FSLIM@SLIMDESIGNCONSULTING.COM
PLANS BY: FIRAS SLIM

SHEET INDEX

- A1 TITLE SHEET, SITE & VICINITY PLANS
- A2 EXISTING AND DEMO FLOOR PLAN
- A3 PROPOSED FLOOR PLAN
- T24.1 ENERGY CALCS
- T24.2 RESIDENTIAL MANDATORY REQUIREMENTS
- S-1 FOUNDATION AND FRAMING PLAN S
- S-2 GENERAL NOTES & DETAILS

LEGAL DESCRIPTION

OWNER: ANTHONY CONSOLE T:(541) 292-4582
RESIDENCE LOCATION: 301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

SCOPE OF WORK

- LIVING ROOM ADDITION 100 S.F. UNDER EXISTING ROOF
- REMODEL EXISTING KITCHEN 106 S.F.

AREA TABULATION

AREA		EXISTING CONSTRUCTION		NEW CONSTRUCTION	EXISTING + NEW
		TO DEMOLISHED	TO REMAIN		
LIVING	1 ST FLOOR	0	1,000 SF	100 SF	1,100 SF
GARAGE	1 ST FLOOR	0	NA	0	NA
PATIO	1 ST FLOOR	0	257 SF	0	257 SF

GOVERNING CODES

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA ENERGY CODE

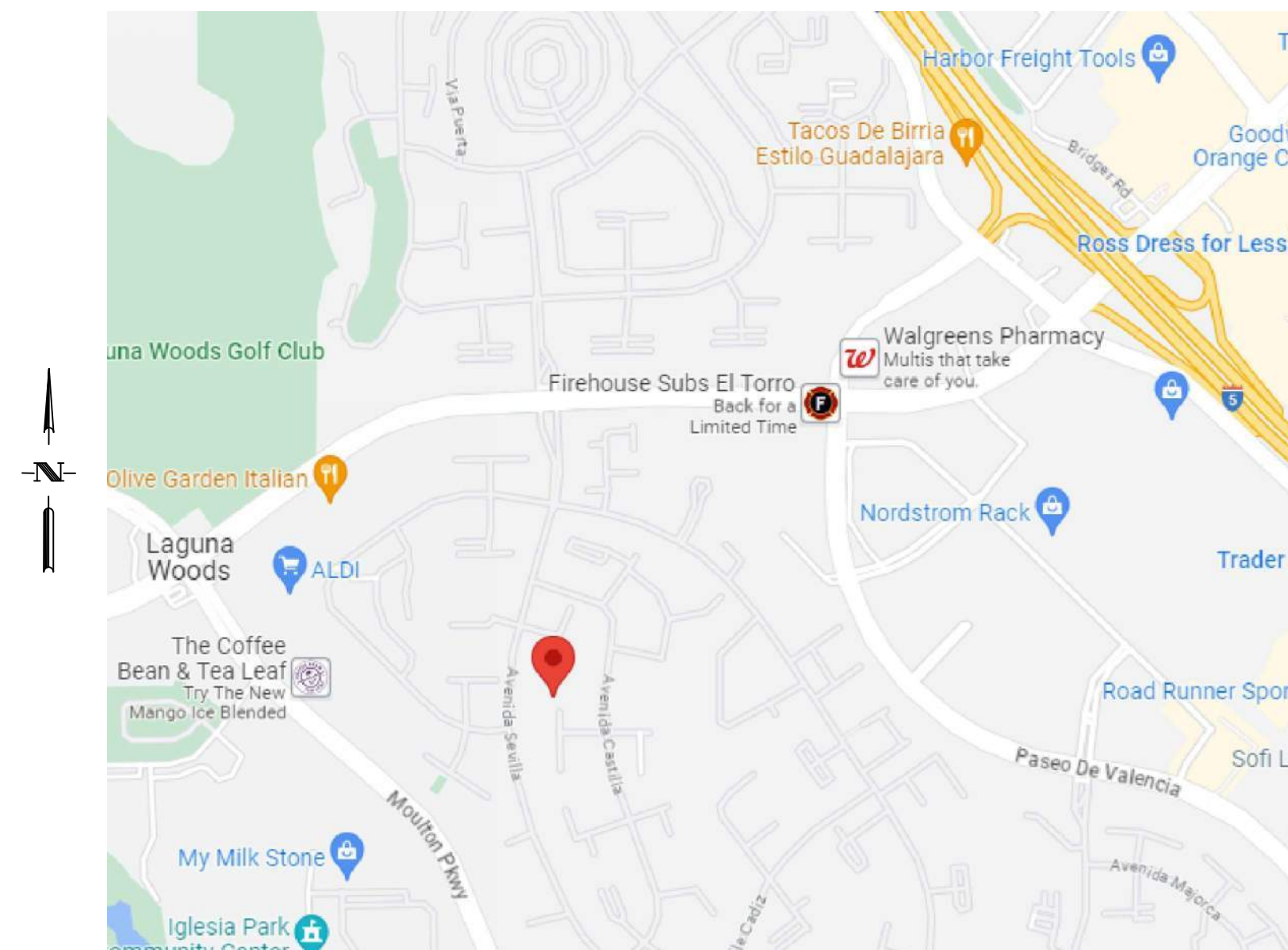
ALL WORK SHALL COMPLY WITH ANY LOCAL AMMENDMENTS TO THE CODES LISTED ABOVE

DESIGNED BY: ENGINEER:

SLIM DESIGN CONSULTING LLC.	ZIAD GEORGE RIZK, P.E.
455 S OLIVE ST.	12930 EVERMARY CT.
ORANGE, CA. 92866	RANCHO CUCAMONGA, CA. 91739
FSLIM@SLIMDESIGNCONSULTING.COM	rizkziad@hotmail.com
310-4671387	

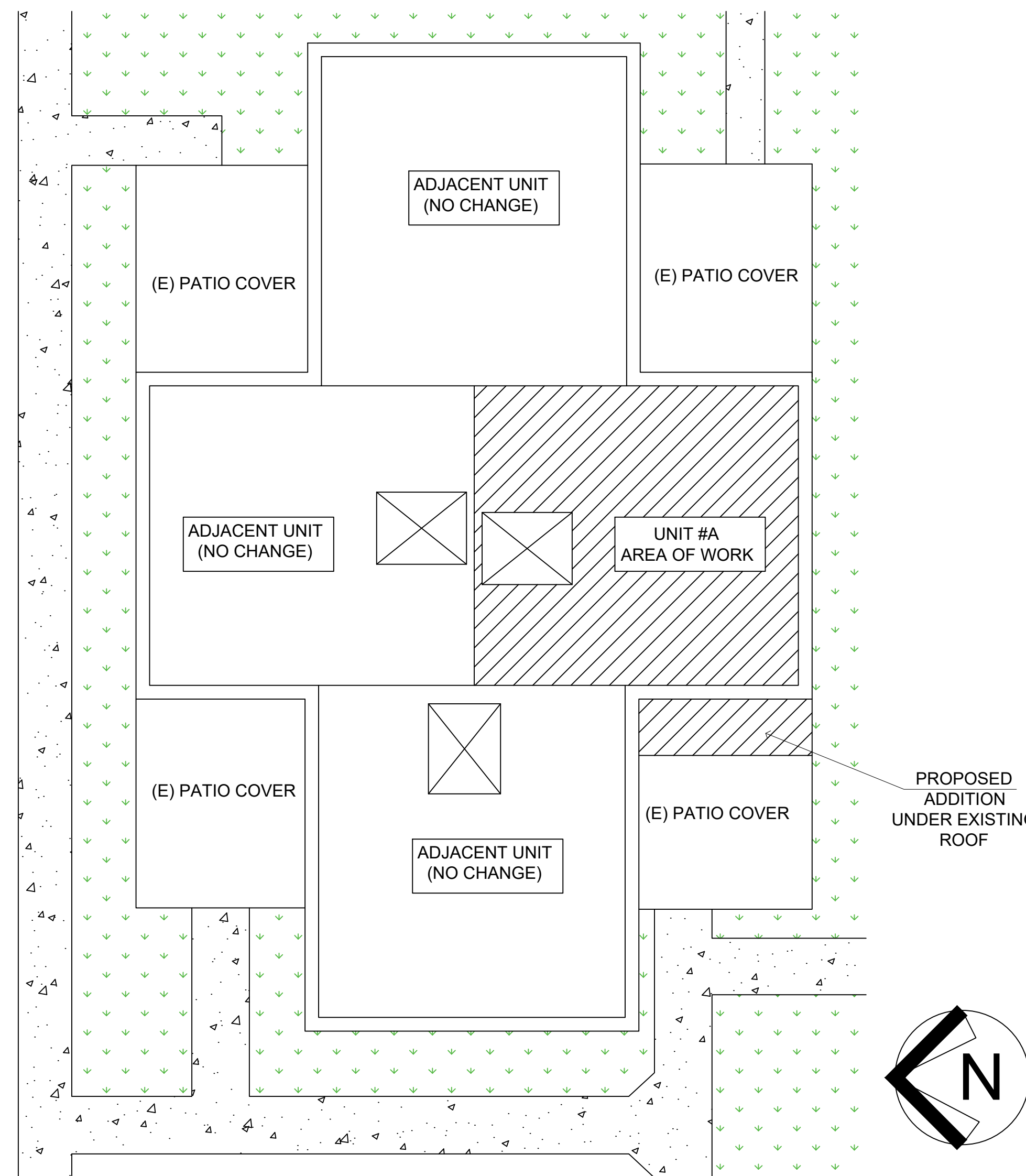
VICINITY PLAN

N. T. S.



SITE PLAN

N. T. S.



GENERAL NOTES

ELECTRICAL

ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]
RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]
OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(2)]
KITCHEN OUTLETS POSITIONED A MAXIMUM 20" ABOVE COUNTERTOP. [CEC 210.52(C)(3)]
APPLIANCE GARAGE OUTLETS ARE NOT COUNTED AS A REQUIRED COUNTERTOP OUTLET. [CEC 210.52(C)(5)]
APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIREMENT EACH SIDE TO COMPLY INDIVIDUALLY.
[CEC 210.52 (C)(4)]
THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE-TYPE RECEPTACLE. [CEC 210.52(C)(2), (3)]
TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52(B)(1), (2)]
INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. THE RATING OF AN INDIVIDUAL BRANCH CIRCUIT SHALL NOT BE LESS THAN THE MARKED RATING OF THE APPLIANCE OR THE MARKED RATING OF AN APPLIANCE HAVING COMBINED LOADS AS PROVIDED IN 422.62. [210.11 (C) & 422.10 (A)]
GARBAGE DISPOSAL CORD AND PLUG CONNECTED 18" TO 36" LONG. [CEC 422.16(B)(1)]
DISHWASHER CORD 36" TO 78" LONG. ROMEX INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD. [CEC 422.16(B)(2)]
MINIMUM 15-AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. [CEC 210.23(A)]
IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]
RESIDENTIAL KITCHEN LIGHTING IS REQUIRED TO MEET THE ENERGY EFFICIENCY STANDARDS. [CENC 150(K)(1)]
IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING. [CENC 150(K)(C)]
FLUORESCENT RECESSED LIGHTING, WHEN USED TO COMPLY WITH THE LIGHTING REQUIREMENTS, MUST BE OF A PIN BASE TYPE DESIGN. **INCANDESCENT SCREW TYPE BASE IS NOT APPROVED.**
AFCI PROTECTION IS REQUIRED TO KITCHEN BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) - THROUGH (6). [CEC 210.12 (A)]
GFI PROTECTION FOR LAUNDRY AREA. [CEC 210.8 (A)(10)]
GFI PROTECTION FOR DISHWASHER. [CEC 210.8(D)]
ALL RECESSED DOWNLIGHT LUMINARIES SHALL BE IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND BE MARKED AS MEETING JA8.

MECHANICAL

A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE BACK DRAFT DAMPER [504.3]
MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE.
KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONES @ 100CFM.
KITCHEN LOCAL EXHAUST VENTILATION SHALL TERMINATE A MINIMUM 3FT FROM AN OPENING [CMC 502.2.1]

PLUMBING

A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1213.3 OF THE CPC.
GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. GAS LINE SHALL BE ENCASED IN AN APPROVED CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS AND INSTALLED IN ACCORDANCE WITH SECT. 1210.1.6.1 OR 1210.1.6.2. OR ENCASUREMENT SYSTEM THAT IS LISTED FOR INSTALLATION BENEATH BUILDING.
AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE [CPC 1210.09]
PROVIDE MAXIMUM 6-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE.
A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.3]
THE MAXIMUM FLOW RATE STANDARDS FOR THE SINK FAUCETS ARE 1.8 GPM AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GPM. [CPC 420.21]

PLUMBING FIXTURE REPLACEMENT:

EFFECTIVE JANUARY 1, 2014, SENATE BILL (SB) 407 AND CALIFORNIA CIVIL CODE SECTION 1101.1-1101.8 REQUIRES ALL NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES WHEN BUILDING IS UNDERGOING ALTERATIONS OR IMPROVEMENTS IF THE RESIDENTIAL PROPERTY WAS BUILT AND AVAILABLE FOR USE ON OR BEFORE JANUARY 1, 1994. PLEASE REFER TO "PLUMBING FIXTURE REPLACEMENT (SB407) REQUIREMENTS AND POLICY" TO DETERMINE IF THE PROJECT REQUIRES COMPLIANCE.

SMOKE ALARMS & CARBON MONOXIDE ALARMS:

KITCHEN RENOVATIONS WILL REQUIRE THE SMOKE AND CARBON MONOXIDE ALARMS FOR THE DWELLING TO MEET THE CURRENT CODE PRIOR TO THE FINAL INSPECTION AS FOLLOWS: [CRC R314 & R315]
SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS AND SLEEPING UNITS WHEN FUEL-BURNING APPLIANCES ARE INSTALLED, AND/OR DWELLING UNITS HAVE ATTACHED GARAGES. EITHER CONDITION REQUIRES ALARMS.
WHEN MORE THAN ONE ALARM OF EITHER TYPE IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE OTHER ALARMS.
IN EXISTING CONDITIONS, ALARMS MAY BE BATTERY OPERATED WHEN THE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF THE WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF AN ATTIC, BASEMENT OR CRAWLSPACE.
MULTIPURPOSE ALARMS THAT COMBINE BOTH A SMOKE ALARM AND CARBON MONOXIDE ALARM SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF BOTH CRC SECTIONS R314 AND R315 AND BE LISTED BY THE OFFICE OF THE STATE FIRE MARSHAL.
SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND UL2034.
SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. [R314.3.1]

CONSOLE RESIDENCE
REMODEL & ADDITION
301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

Revision Date	By:

Date: 07/12/2023

Scale:

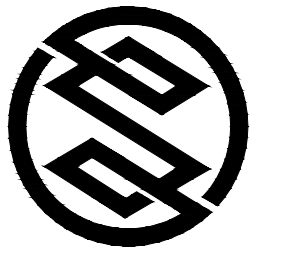
Drawn by: F.SLIM

Job:

File:

A1

SHEET NO.



SLIM DESIGN
CONSULTING LLC
RESIDENTIAL & COMMERCIAL
TEL: (310) 467-1387
FLUMPSLIMDESIGNCONSULTING.COM
PLANS BY: FIRAS SLIM

STAMP

PROJECT

**CONSOLE RESIDENCE
REMODEL & ADDITION**
301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

Revision Date	By:
▲	
▲	
▲	
▲	
▲	

Date: 07/12/2023

Scale:

Drawn by: F.SLIM

Job:

File:

A2

SHEET NO.

DEMOLITION NOTES

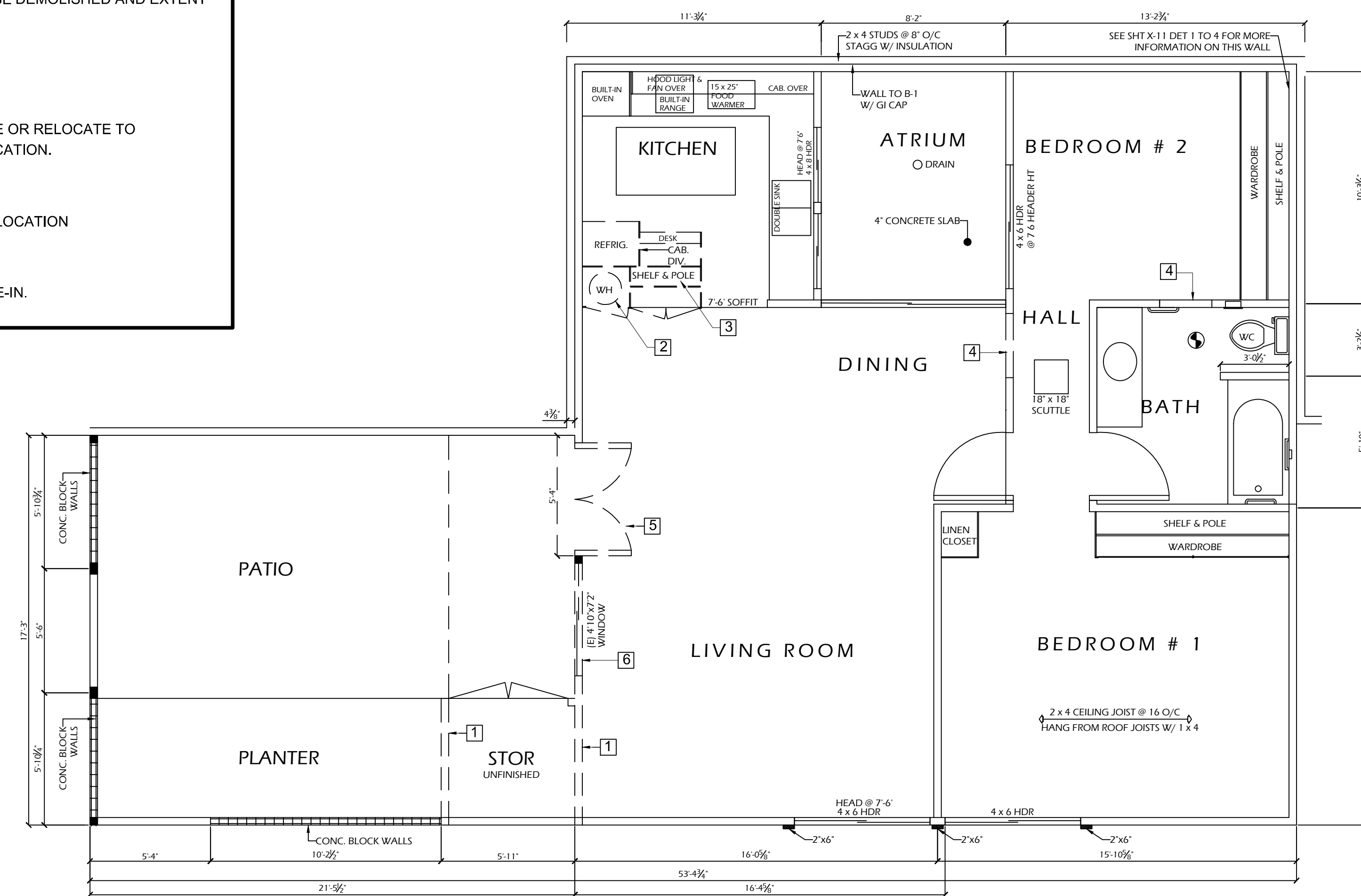
1. EXAMINE THE SITE AND THE CONDITIONS PERTAINING THERE TO AND DETERMINE THE EXTENT OF WORK TO BE ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND CAN BE DETERMINED ONLY BY EXAMINATION OF THE PREMISES BY THE GENERAL CONTRACTOR.
2. EXAMINE THE DRAWINGS TO ESTABLISH THE EXTENT OF THE STRUCTURE PORTION TO BE DEMOLISHED AND EXTENT OF THE STRUCTURE TO REMAIN.
3. CONTRACTOR SHALL VERIFY EXISTING WALL FINISH TO BE REMOVED, AS REQ'D.
4. WHEN PATCHING IS REQUIRED MATCH ALL ADJACENT SURFACES.
3. CONTRACTOR SHALL VERIFY ALL ELECTRICAL WIRING ALONG DEMO WALLS AND REMOVE OR RELOCATE TO NEW ADDITION, AS REQUIRED. SEE PLANS FOR NEW ELECTRICAL OUTLETS/LIGHTING LOCATION.
4. REMOVE OR CAP OFF EXISTING ELECTRICAL LINES WHERE REQ'D.
5. CONTRACTOR TO COORDINATE WITH FOUNDATION PLAN FOR NEW PAD & NEW FOOTING LOCATION
6. REMOVE/CAP OFF OR RELOCATE ANY UTILITY LINES, WHERE REQ'D.
7. CONTRACTOR SHALL PARTIALLY REMOVE ROOF, AS REQUIRED TO INSTALL NEW ROOF TIE-IN.

KEYNOTES

- 1 EXISTING EXTERIOR WALL / FINISH TO BE DEMOLISHED
- 2 RELOCATE WATER HEATER TO EXTERIOR
- 3 KITCHEN CABINETS TO BE REMOVED
- 4 DEMO INTERIOR NON BEARING WALL FOR NEW DOOR
- 5 DEMO AND RELOCATE MAIN ENTRY DOOR
- 6 RELOCATE WINDOW TO NEW EXTERIOR WALL

FLOOR PLAN LEGEND

- (E) WALL CONSTRUCTION
- (E) WALL TO BE REMOVED



EXISTING & DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"





SLIM DESIGN
CONSULTING LLC
RESIDENTIAL & COMMERCIAL
TEL: (310) 467-1387
FSLIM@SLIMDESIGNCONSULTING.COM
PLANS BY: FIRAS SLIM

STAMP

PROJECT

**CONSOLE RESIDENCE
REMODEL & ADDITION**
301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

Revision	Date	By

Date: 07/12/2023
Scale:
Drawn by: F.SLIM
Job:
File:
A3
SHEET NO.

FOOTNOTES

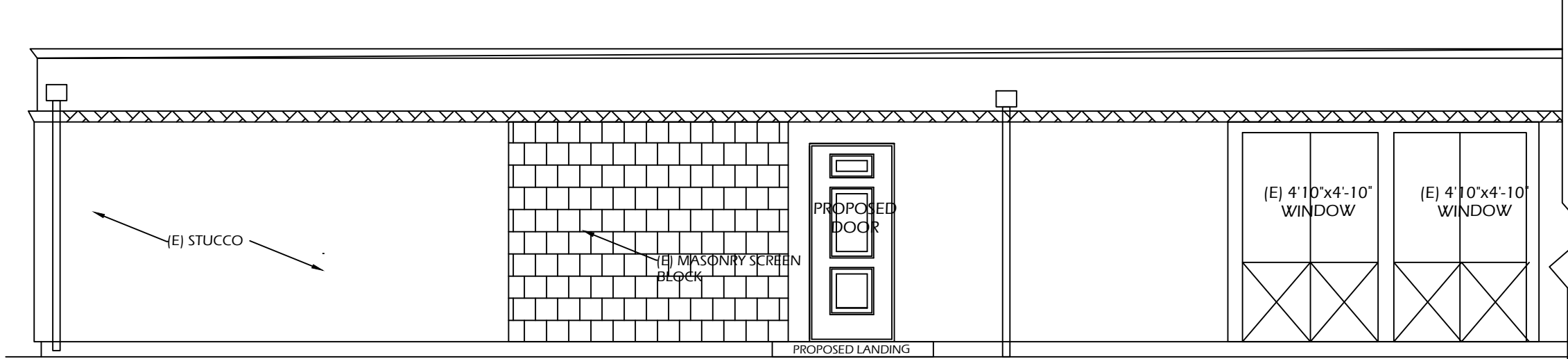
- 1 PROVIDE APPROVED SMOKE ALARMS (UL 217) IN EACH BEDROOM SEE SMOKE ALARMS NOTE
- 10 PROVIDE AN APPROVED CARBON MONOXIDE (UL 2034/2075) SEE CARBON MONOXIDE ALARM NOTE
- 2 a. ALL LIGHTS MUST BE HIGH EFFICACY AND RECESSED LIGHTS MUST BE IC RATED WHEN UNDER INSULATION
b. SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS MUST BE 18" FROM STORAGE AREA / 9.5 FLUSH MOUNTED MUST BE 6" AWAY.
- 3 a. BATHROOM RECEPTACLES SHALL BE ON A 20 AMP CIRCUIT, WITH NO OTHER OUTLETS ALLOWED. IT MAY SERVE MORE THAN ONE BATHROOM
b. PROVIDE A MIN OF 2-20 AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTER TOPS SUCH CIRCUIT SHALL HAVE NO OTHER CIRCUITS LOADS SHALL BE BALANCED.
c. PROVIDE A MIN ONE 20-AMP LAUNDRY BRANCH CIRCUIT. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
d. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY, DINING, LIVING, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLS, OR OTHER SIMILAR ROOMS AND AREAS PER (CALIF. SECTION 210.19) SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER/S.
e. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES (IN DWELLING UNITS) SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 4 ALL SWITCHES AT +42" AFF UNLESS NOTED OTHERWISE
- 5 GAS VALVE MUST BE LOCATED OUTSIDE OF THE REQUIRED HEARTH AREA, BUT NOT MORE THAN 6 FT UNLESS LISTED FOR INSTALLATION IN THE FIREPLACE
- 6 HOSE PIPS TO HAVE A NON-REMOVABLE BACK-FLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER. HOSE PIPS MUST BE PROTECTED BY ANTI-SIPHON DEVICE
- 7 CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN TO HAVE A MAXIMUM 1/2 SONE RATING
- 8 TITLE 24 REQUIREMENT:
- HIGH EFFICACY LUMINAIRES MUST BE PIN BASED
- HIGH EFFICACY LIGHTS TO PROVIDE:
40 LUMENS/WATT AT 15 WATTS OR LESS
50 LUMENS/WATT AT 15 - 40 WATTS
60 LUMENS/WATT AT OVER 40 WATTS
- RECESSED LUMINAIRES INSTALLED IN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARANCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND/OR GASKETED BETWEEN CEILING AND HOUSING
LED LIGHTING:
SHALL MEET THE MINIMUM EFFICACY REQUIREMENTS IN TABLE B002-B (EXPLAINED IN SECTIONS 632 AND 633 OF THIS CHAPTER) THE LED LIGHTING SYSTEM SHALL BE TESTED BY AN INDEPENDENT TESTING LAB, ACCORDING TO IES LM-79-08.
* NOTE: LED LIGHTING WHICH HAS NOT BEEN CERTIFIED TO THE ENERGY COMMISSION AS HIGH EFFICACY IS CONSIDERED LOW-EFFICACY.
- 9 TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (E.G. DRYERS, BATH FANS, DOMESTIC RANGE VENTS, ETC.) SHALL BE AT LEAST 3 FEET FROM OPENINGS INTO THE BUILDING.

SMOKE AND CARBON MONOXIDE ALARMS

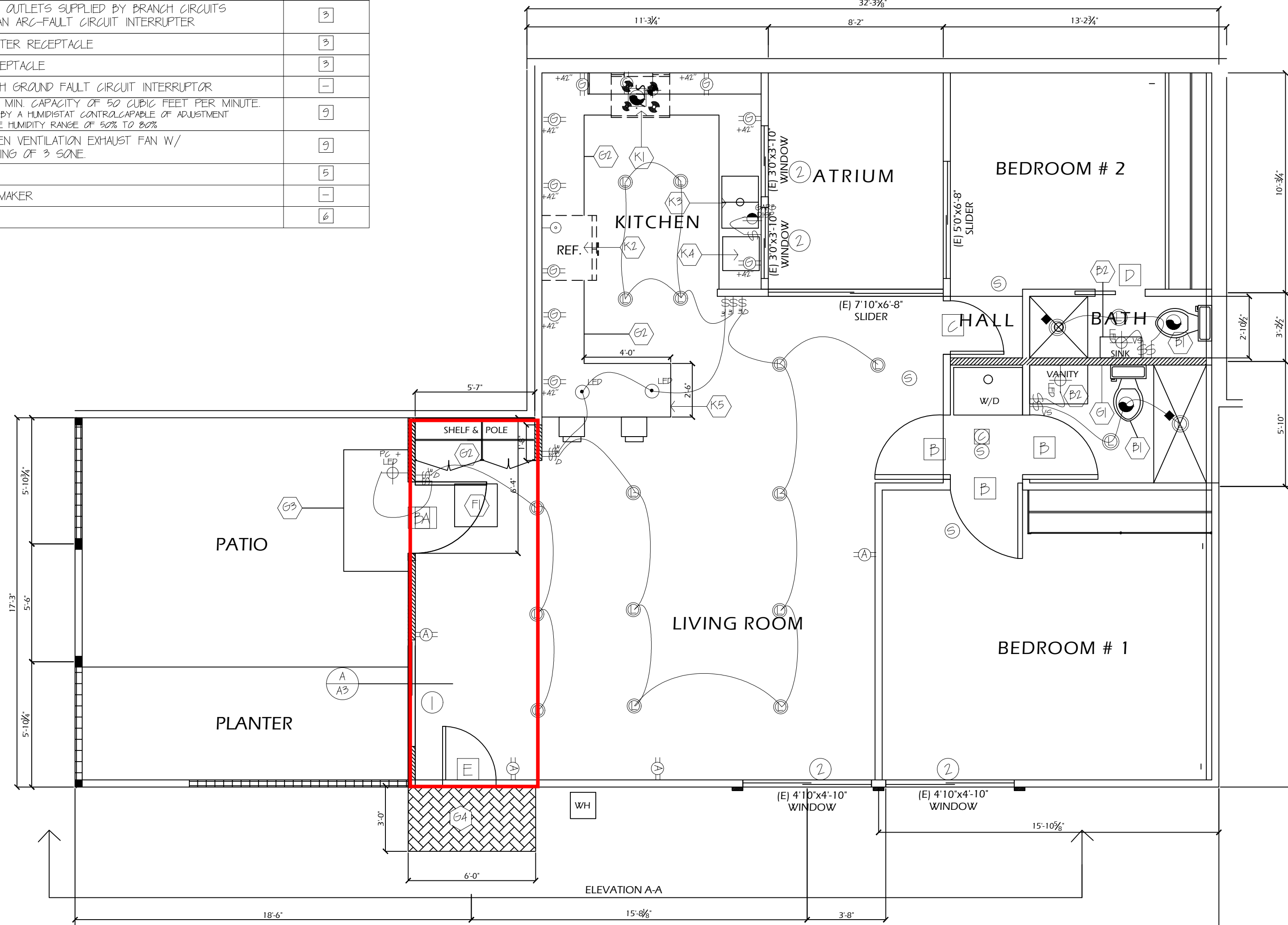
- PROVIDE APPROVED SMOKE ALARMS (UL 217) PER SECTION R314 OF THE 2019 IRC:
- 11 IN ALTERATIONS, REPAIRS AND ADDITIONS SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. SMOKE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. (IRC R314.3)
 - 12 SMOKE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. (IRC R314.3)
 - 13 IN NEW BUILDINGS, SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED. (IRC R314.4 & R314.5)
- PROVIDE CARBON MONOXIDE ALARMS (UL 2034/ 2075):
- 11 IN ALTERATIONS, REPAIRS AND ADDITIONS OF EXISTING DWELLINGS EXCEEDING \$100,000 CARBON MONOXIDE ALARMS ARE REQUIRED IN THE SPECIFIC PERMITTED DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES THE CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. (IRC R314.3)
 - 12 CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM CONTAINING A FUEL-BURNING APPLIANCE AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. (IRC R315)
 - 13 IN NEW BUILDINGS, CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED. (IRC R315.1 & R315.2)

UTILITY LEGEND

SYMB.	DESCRIPTION	FOOT NOTE
⊞	ELECTRICAL PANEL PER PLAN	-
⊞	10 V W/ BATTERY BACK-UP SMOKE ALARM	11
⊞	CARBON MONOXIDE ALARM	10
⊞	RECESS LIGHT-EMITTING DIODE LIGHT (LED)	8
⊞	WALL MOUNTED LIGHT	-
⊞	LED LIGHT-EMITTING DIODE LIGHT	8
⊞	UNDER UPPER CABINET LED TUBE LIGHT	8
◆	FIXTURES MARKED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS"	-
⊞	1-WAY SWITCH	4
⊞	3-WAY SWITCH	4
⊞	SWITCH DIMMER	4
⊞	SWITCH WITH VAGANCY SENSOR	4
⊞	110v RECEPTACLE OUTLETS SUPPLIED BY BRANCH CIRCUITS PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER	3
⊞	UNDER-THE-COUNTER RECEPTACLE	3
⊞	1/2" HOT 110v RECEPTACLE	3
⊞	RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTOR	-
⊞	MECHANICAL FAN MIN CAPACITY OF 50 CUBIC FEET PER MINUTE TO BE CONTROLLED BY A HUMIDIST CONTROLLABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80%	2
⊞	300 CFM KITCHEN VENTILATION EXHAUST FAN W/ MAX SOUND RATING OF 3 SONE	2
⊞	FUEL GAS	5
⊞	PLUMB FOR ICE MAKER	-
⊞	HOSE BIB	6



SIDE ELEVATION (A-A)



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- G1 2x6 PLUMBING WALL/ FAT WALL
- G2 NEW CABINET PER OWNER
- G3 CONCRETE LANDING MAX 1" BELOW THRESHOLD MAX
- G4 INTERLOCKING PAVER LANDING MAX 1" BELOW THRESHOLD MAX
- B1 TOILET, 128 GPF MAX TABLE 4309.2 CODE
- B2 LAVATORY SINK 12 GPF. SEE TABLE 4309.2 CODE
- K1 48" RANGE/OVEN SPACE W/ MICROWAVE OVEN /HOOD & LIGHT ABOVE VENT THRU WALL
- K2 3/8" BUILT-IN REFRIG SPACE PROVIDE 110v OUTLET AND WATER OUTLET FOR ICE MAKER
- K3 SINK W/ GARBAGE DISPOSAL KITCHEN FAUCET TO BE 18 GPM MAX @ 60 PSI
- K4 UNDERCOUNTER DISHWASHER W/110v OUTLET. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER
- K5 +3/8" HIGH ISLAND W/ CABINETS AND COUNTER TOP FINISH PER OWNER
- F1 24" SQ. SKYLIGHT

WALL LEGEND

- NEW WALLS
- EX. WALLS TO REMAIN
- DEMO WALLS

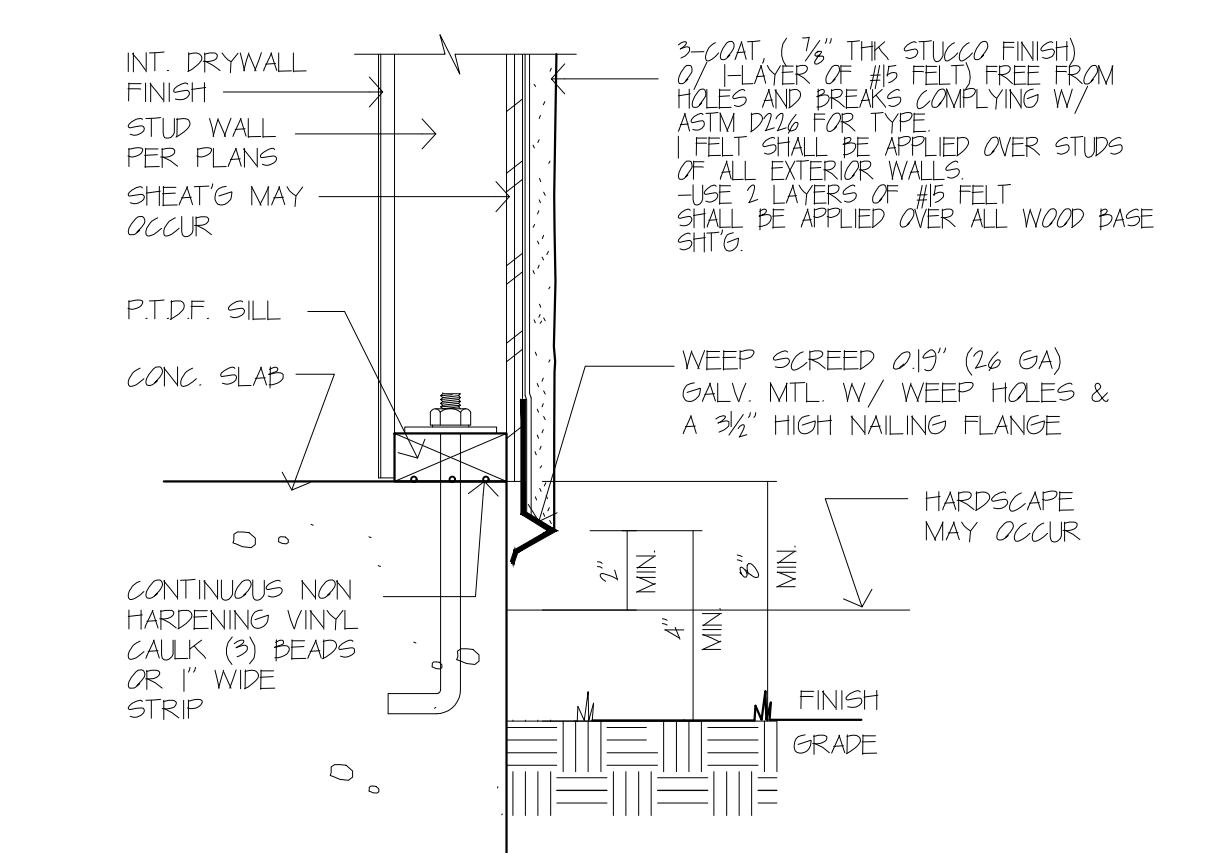
*** WINDOW SCHEDULE**

#	SIZE WIDTH x HEIGHT	FRAME	OPERATION	U-FACTOR MAX	SHGC MAX	REMARKS	QTY
1	5'0" x 7'0"	VINYL	FIXED	0.30	0.23	DUAL PANE TEMPERED	01
2	EXISTING	-	-	-	-	-	-

*** DOOR SCHEDULE**

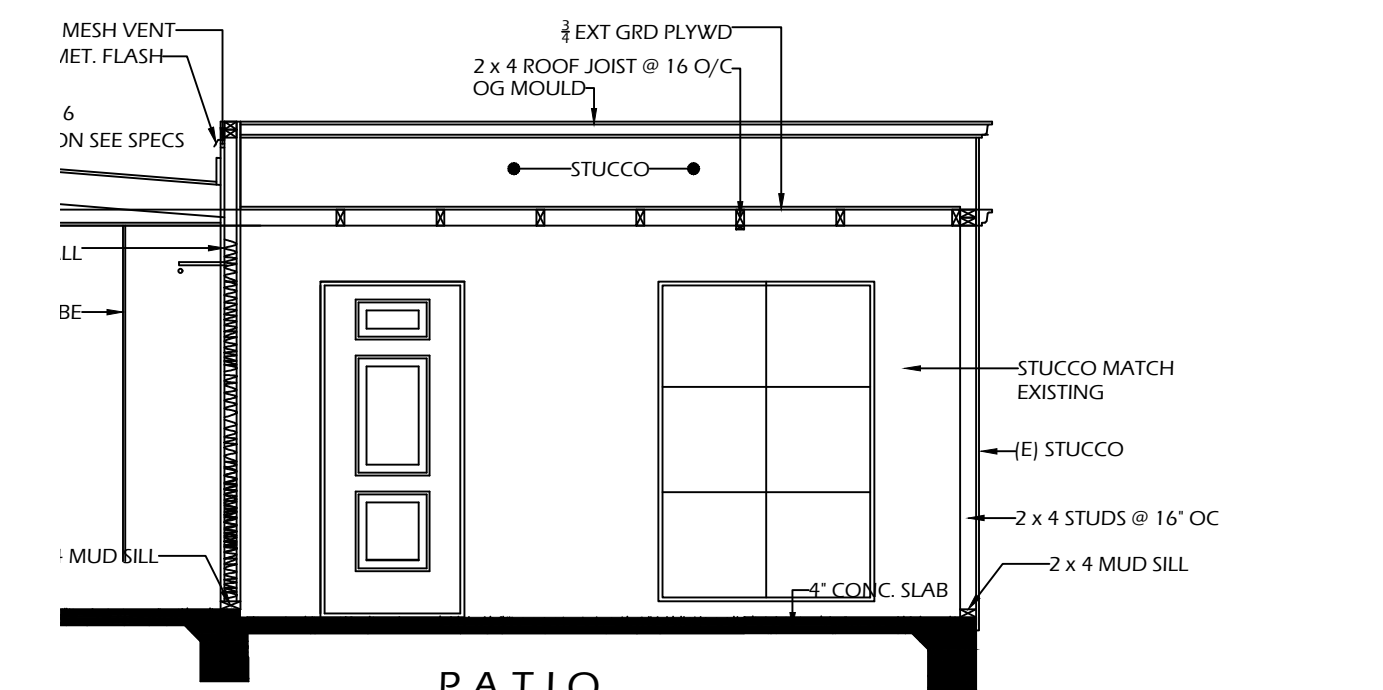
#	SIZE WIDTH x HEIGHT	FRAME	OPERATION	U-FACTOR MAX	SHGC MAX	REMARKS	QTY
A	3'0" x 6'8"	SOLID CORE	HINGED	NA	NA	EXT. DOOR W/ WEATHER STRIPPING	01
B	2'4" x 6'8"	HOLLOW CORE	HINGED	NA	NA	INT. DOOR EXISTING	03
C	2'6" x 6'8"	HOLLOW CORE	HINGED	NA	NA	INT. DOOR	01
D	2'4" x 6'8"	HOLLOW CORE	POCKET SLIDER	NA	NA	INT. DOOR	01
E	2'6" x 6'8"	SOLID CORE	HINGED	NA	NA	EXT. DOOR W/ WEATHER STRIPPING	01

- 1 ALL NEW WINDOWS TO BE DUAL PANE PENETRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS
 - 2 ALL WINDOWS AND DOORS WITH GLAZING SHALL HAVE A LABEL INDICATING THE U-FACTOR AND SHGC
 - 3 EVERY BEDROOM SHALL HAVE A OPERABLE ESCAPE WINDOW WITH A MIN OPERABLE AREA OF 5.7 sq ft (5.0 AT GROUND LEVEL) AND A MIN CLEAR HEIGHT OF 24 INCH AND WIDTH OF 20 INCH. THE BOTTOM OF THE CLEAR OPENING TO BE NOT OVER 44 INCHES MEASURED FROM THE FLOOR.
- * WINDOW AND DOOR REPLACEMENT NOTE:
- CONTRACTOR TO VERIFY WINDOW SIZES PRIOR TO ORDERING
- WINDOWS AND DOORS TO BE REPLACED
- VERIFY THAT ALL REPLACEMENT WINDOWS MEET CURRENT CODES



STUCCO SCREED

- STUCCO WALL FINISH TO MATCH EXISTING:
PORTLAND CEMENT PLASTER (3/8" THICK 3-COAT STUCCO
01) MIN 1-LAYER OF 40-MINUTE GRADE D' BUILDING PAPER)
USE 2- LAYERS OF BLDG PAPER 01/ PLYWOOD.



ENTRY ELEVATION

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 10 columns: ID, Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count.

Table with 6 columns: ID, Existing Area (excl. new addition) (ft²), Addition Area (excl. existing) (ft²), Total Area (ft²), Existing Bedrooms, Addition Bedrooms, Total Bedrooms.

Table with 3 columns: ID, Description, Status.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 7 columns: Energy Use, Standard Design Source Energy (EDR1) (kBtu/ft²-yr), Standard Design TDV Energy (EDR2) (kTD/ft²-yr), Proposed Design Source Energy (EDR1) (kBtu/ft²-yr), Proposed Design TDV Energy (EDR2) (kTD/ft²-yr), Compliance Margin (EDR1), Compliance Margin (EDR2).

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 5 columns: Energy Use Intensity, Standard Design (kBtu/ft²-yr), Proposed Design (kBtu/ft²-yr), Compliance Margin (kBtu/ft²-yr), Margin Percentage.

REQUIRED SPECIAL FEATURES: The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

HERS FEATURE SUMMARY: The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis.

Table with 7 columns: Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Status.

Table with 10 columns: ID, Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg), Wall Exceptions, Status.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 10 columns: ID, Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg), Wall Exceptions, Status.

Table with 8 columns: ID, Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof.

Table with 14 columns: ID, Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading.

Table with 4 columns: ID, Name, Side of Building, Area (ft²), U-factor.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 8 columns: ID, Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated.

Table with 8 columns: ID, Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

Table with 5 columns: ID, Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50, CFM50.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 9 columns: ID, Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (R).

Table with 13 columns: ID, Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency Type, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, Tank Location.

Table with 7 columns: ID, Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery.

Table with 9 columns: ID, Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 4 columns: ID, Name, System Type, Number of Units, Heating Efficiency.

Table with 9 columns: ID, Name, System Type, Number of Units, Efficiency Metric: EER/EER2/CEER, Efficiency Metric: SEER/SEER2, Zonally Controlled, Multi-speed Compressor, HERS Verification.

Table with 12 columns: ID, Name, Type, Design Type, Duct Ins. R-value, Duct Location, Surface Area, Bypass Duct, Duct Leakage, HERS Verification.

Table with 4 columns: ID, Name, Type, Fan Power (Watts/CFM), Name.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 3 columns: ID, Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM).

Table with 12 columns: ID, Name, Type, Design Type, Duct Ins. R-value, Duct Location, Surface Area, Bypass Duct, Duct Leakage, HERS Verification.

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Console Residence Addition Calculation Date/Time: 2023-08-23T07:37:06-07:00 Input File Name: assda.rbd22x

Table with 2 columns: ID, Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM).

Table with 2 columns: ID, Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM).

Registration Number: 423-PO10152972A-000-000-000000-0000 Registration Date/Time: 08/23/2023 07:38 HERS Provider: CHEERS

PROJECT: CONSOLE RESIDENCE REMODEL + ADDITION 301 AVENIDA SEVILLA LAGUNA WOODS, CA 92637

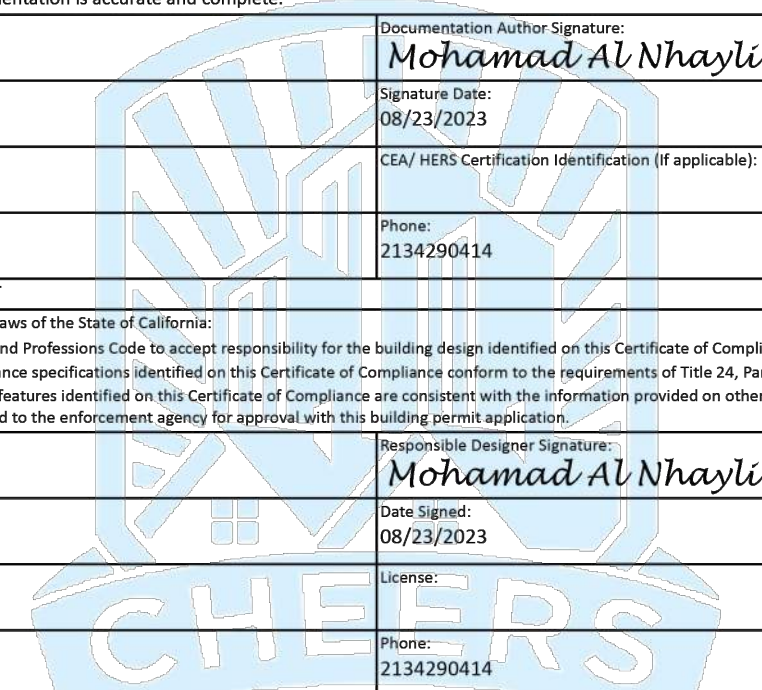
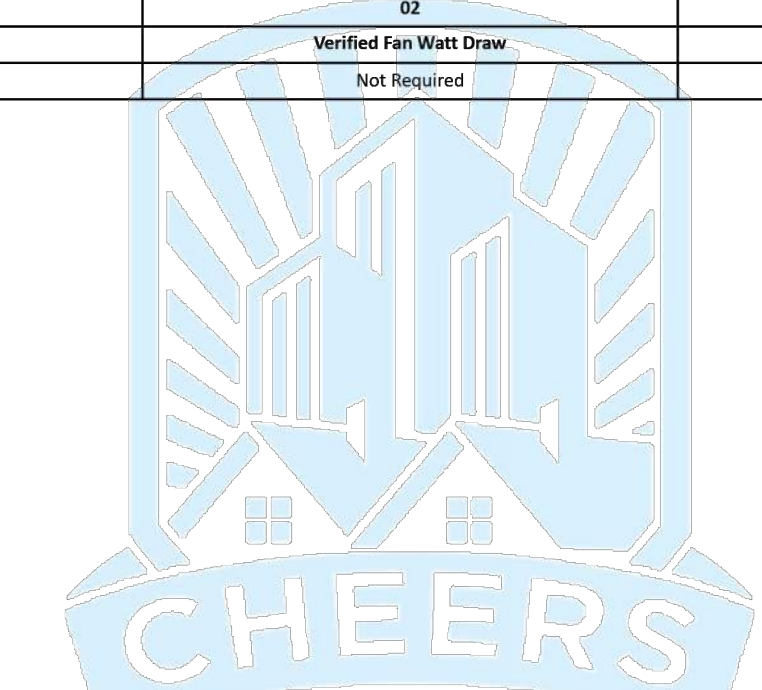
Table with 2 columns: REVISIONS: (triangle symbols)

DATE:

DRAWN BY: CHECKED BY: DESIGNED BY:

T24.1

JOB No: SHEET: NTS T24.1 SHEET NO.





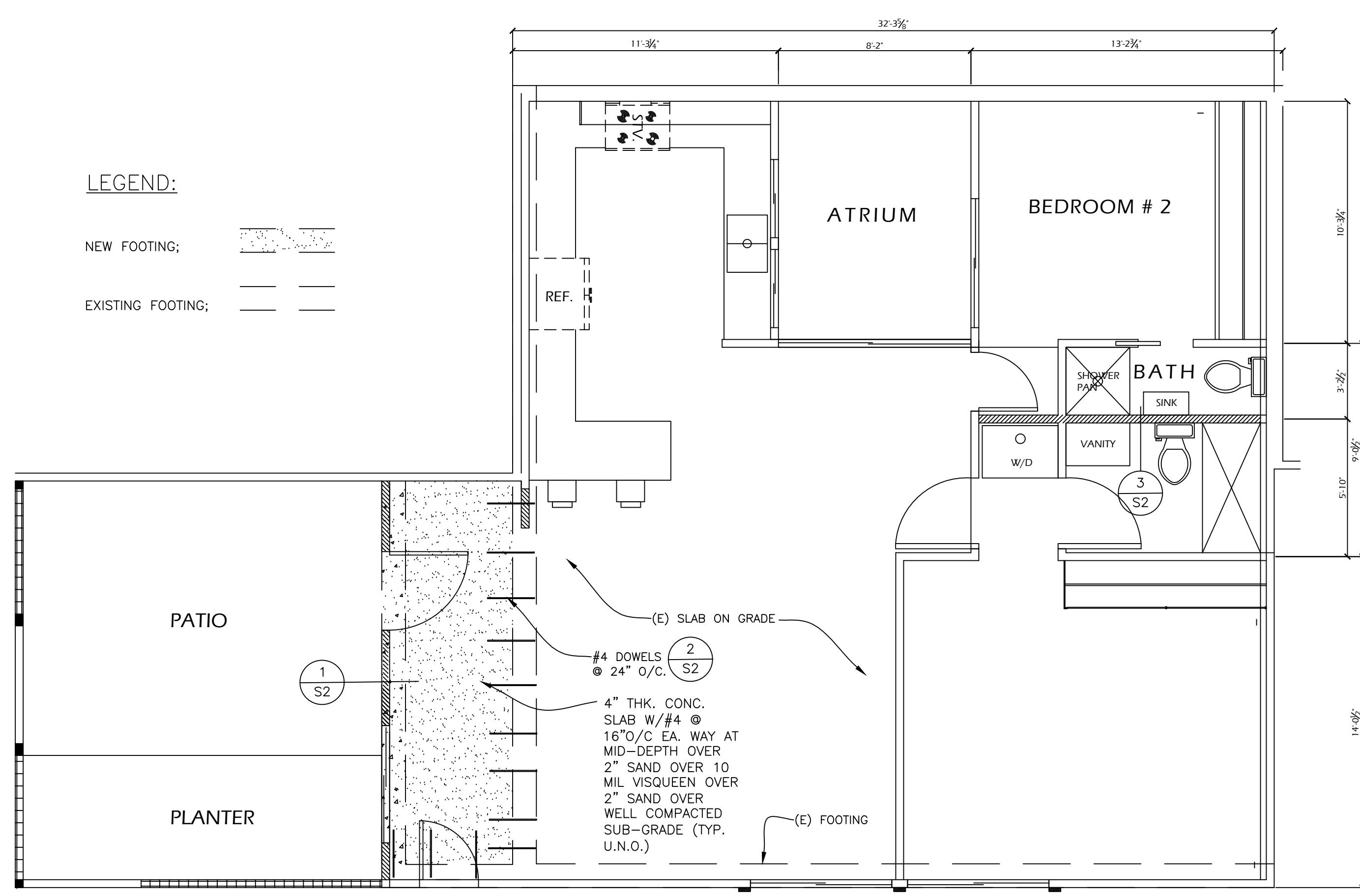
SLIM DESIGN
CONSULTING LLC
RESIDENTIAL & COMMERCIAL
TEL: (310) 467-1387
SLIMDESIGNCONSULTING.COM
PLANS BY: FIRAS SLIM

STAMP

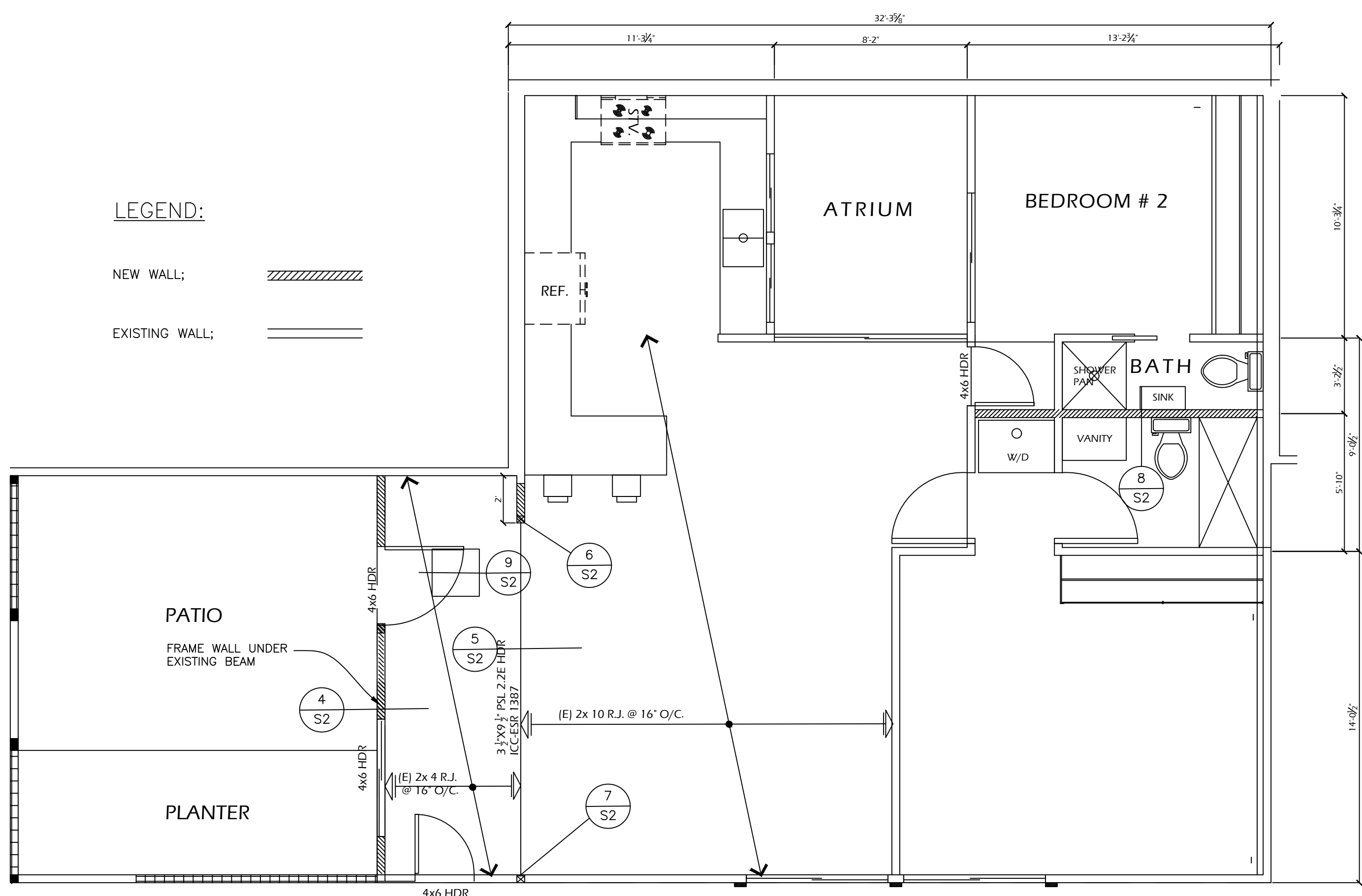


PROJECT

**CONSOLE RESIDENCE
REMODEL & ADDITION**
301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637



PARTIAL FDN PLAN
SCALE: 1/4"=1'-0"



PARTIAL FRAMING PLAN
SCALE: 1/4"=1'-0"

ENGINEER NOTE:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ENGINEER IF ANY DISCREPANCIES OCCUR

STATEMENT OF SPECIAL INSPECTIONS

SPECIAL INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING CONDITIONS AS PER 2022 CBC, 1704. THE OWNER SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM THE INSPECTIONS DURING CONSTRUCTION:

- EPOXY BOLTS IN EXISTING FOOTING

DESIGN DATA @ WOOD SHEAR WALL:

- A. ROOF LIVE LOAD = 20 PSF
- B. WIND DESIGN DATA:
 a) BASIC WIND SPEED = 110 MPH
 b) WIND IMPORTANCE FACTOR = 1.0 ; RISK CATEGORY = II
 c) WIND EXPOSURE = C
 d) INTERNAL PRESSURE COEFFICIENT = 0.55
- C. EARTHQUAKE DESIGN DATA:
 a) SEISMIC IMPORTANCE FACTOR = 1.0 ; RISK CATEGORY = II
 b) MAPPED SPECTRAL RESPONSE ACCELERATION, $S_s = 1.39$; $S_1 = 0.44$
 c) SITE CLASS = D
 d) SPECTRAL RESPONSE COEFFICIENT, $S_Ds = 1.1$; $S_D1 = 0.73$
 e) SEISMIC DESIGN CATEGORY = D
 f) BASIC "SFRS" = LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE OR STEEL SHEETS
 g) DESIGN BASE SHEAR = 0.169Wd
 h) SEISMIC RESPONSE COEFFICIENT, $CS = 0.169$
 i) RESPONSE MODIFICATION FACTOR = 6.5
 j) ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE
 k) REDUNDANCY FACTOR USED = 1.3x0.7=1
- D. SPECIAL LOADS = N/A
- E. SYSTEMS OR COMPONENTS REQUIRING SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE = WOOD SHEAR WALLS WITH 4" OR LESS NAIL SPACING

HEADER DESIGN

Project Title: Console Residence.ecb
 Engineer: [Blank]
 Project ID: [Blank]
 Project Descr: [Blank]

Project File: Console Residence.ecb
 LIC#: KW-06018037, Build: 20.23.05.25 (c) ENERCALC INC 1983-2023

Multiple Simple Beam
 Description: Wood Beam Design: Beam #1
 Calculations per NDS 2018, IBC 2021, ASCE 7-16

BEAM Size: 3.5x9.5, Parallam PSL, Fully Braced
 Using Allowable Stress Design with IBC 2021 Load Combinations. Major Axis Bending
 Wood Species: Llevel Truss Joist Wood Grade: Parallam PSL 2.2E
 Fb - Tension 2900 psi Fc - Pll 2900 psi Fv 290 psi Emod-xx 2200 ksi Density 45.07 pcf
 Fb - Comp 2900 psi Fc - Perp 750 psi Ft 2025 psi Emod-yy 1116.19 ksi

Applied Loads
 Unif Load: D = 0.0120, Lr = 0.020 k/ft, Trib = 11.0 ft

Design Summary
 Max fb/Fb Ratio = 0.623 : 1
 fb - Actual: 2,256.59 psi at 7.500 ft in Span # 1
 fb - Allowable: 3,625.00 psi
 Load Comb: +D+Lr
 Max fv/Fv Ratio = 0.296 : 1
 fv - Actual: 107.19 psi at 0.000 ft in Span # 1
 fv - Allowable: 362.50 psi
 Load Comb: +D+Lr

Max Reactions (k) D Lr L S W E H
 Left Support: 0.99 1.65
 Right Support: 0.99 1.65

Max Deflections
 Transient Downward: 0.456 in
 Ratio: 393
 Total Downward: 0.733 in
 Ratio: 245
 LC: Lr Only
 Transient Upward: 0.000 in
 Ratio: 9999
 Total Upward: 0.000 in
 Ratio: 9999
 LC: +D+Lr

Revision	Date	By

Date: 07/12/2023
 Scale: [Blank]
 Drawn by: F.SLIM
 Job: [Blank]
 File: [Blank]

S1
 SHEET NO.

GENERAL NOTES

- EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE 2022 CBC.
- THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE WITH THE PLANS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE ARCHITECT & ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.
- ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUIVALS.
- NOTES & DETAILS ON DRAWINGS SHALL PRECEDE THESE GENERAL NOTES.
- O.C. TO FIELD VERIFY EXIST. SLAB IS NOT POST-TENSIONED. DO NOT CUT INTO POST-TENSIONED SLAB. LOCATE POST-TENSIONED SLAB TENDONS BY X-RAY DETECTION PRIOR TO STARTING ANY CUTTING OR DRILLING. SPECIAL CARE SHALL BE TAKEN NOT TO CUT ANY TENDONS DURING CONSTRUCTION.

REMODELING NOTES

- PROVIDE ANY SHORING & OR BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.
- PROVIDE RED HEADS INTO EXISTING CONCRETE AT ALL SHEAR WALLS PER MFG. SPECIFICATIONS. SEE SHEAR WALL SCHEDULE FOR SIZE AND SPACING.
- PROVIDE SIMPSON ST-6224 BETWEEN NEW WALLS AND EXISTING WALLS AT THE DOUBLE TOP PLATE.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
- DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR FOOTINGS, BEAMS AND JOISTS, SIZES LOCATIONS ETC. AND SHALL NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES.
- DOWEL NEW INTO EXISTING SLABS W/#4 REBAR @ 24" O.C. AND FOOTINGS W/DOWELS TO MATCH NEW REINF. SIZE/LOCATION.

ENGINEERING NOTES

- CONCRETE SLABS ON GRADE HAVE NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER.
- THE VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.

- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING THE ENTIRE COURSE OF CONSTRUCTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR FIELD INSPECTION/OBSERVATION OF THE ABOVE ITEMS.
- ALLOWABLE SOILS PRESSURE TO BE A MINIMUM OF 1500 PSF UNLESS A SOILS REPORT IS PROVIDED. SOILS IN THE BUILDING AREA & 5 FEET BEYOND SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION PER 2019 C.B.C.

SOILS REPORT BY:
JOB NO.

STRUCTURAL SYMBOLS

INDICATES SHEAR WALL TYPE & LENGTH. SEE FOUNDATION & OR FRAMING PLAN AND SHEAR WALL SCHEDULE FOR TYPE, SILL BOLTING, SHTG., ETC. NOTE: FOR SILL BOLTING AT EXISTING FOOTINGS USE "RED HEAD WEDGE ANCHORS" 100# ER-1372 THE SAME SIZE & SPACING AS SILL BOLTING (MIN 7 1/2" EMBED).

INDICATES POST
MIN. POST SIZE/TYP. AS FOLLOWS U.N.O.:

BEAM SIZE	POST SIZE
4" X 14" & SMALLER	2-2X4 W/16d NAILS @ 12" O.C.
6" X 12" & SMALLER	3-2X4 W/16d NAILS @ 12" O.C.
4" X 16" & LARGER	4X4
6" X 14" & LARGER	4X6

SEE HOLD-DOWN DETAILS AND TYPICAL WALL FRAMING FOR FURTHER POST SIZE REQUIREMENTS.
POSTS ARE TO CONTINUE DOWN TO FOUNDATION.

FOUNDATION NOTES

- GENERAL**
- SOIL BENEATH FOOTINGS AND SLABS SHALL BE COMPACTED PER 2022 C.B.C. (90%) RELATIVE COMPACTION MINIMUM.
 - IF A SOIL REPORT IS REQUIRED FOR THE PROJECT, THE SOILS ENGINEER SHALL INSPECT THE FOUNDATION PRIOR TO POURING OF CONCRETE AND SHALL VERIFY THE SOIL BEARING PRESSURE TO BE 1500 PSF MIN OR PER THE SOILS REPORT.
 - SLAB ON GRADE: 4 INCH CONCRETE SLAB WITH #3 @ 18" O.C. E.W. @ CENTER OF SLAB OVER 2" OF SAND OVER 10 MIL VESQUEUR OVER COMPACTED SOILS U.N.O.
 - NO TRENCHES OR EXCAVATIONS FIVE FEET IN DEPTH OR GREATER INTO WHICH A PERSON SHALL BE REQUIRED TO DESCEND SHALL BE MADE WITHOUT PROPER PERMIT.
 - THE MINIMUM BOLTING FOR SILL PLATES TO FOUNDATION SHALL BE AS FOLLOWS: 5/8" DIAMETER ANCHOR BOLTS WITH 7" MIN EMBEDMENT IN CONCRETE WITH SPACING NO GREATER THAN 4 FEET O.C. NOR FURTHER THAN 12" FROM CORNERS (MIN 2 BOLTS PER PIECE). SEE THE FOUNDATION PLAN & SHEAR WALL SCHEDULE FOR FURTHER BOLTING REQUIREMENTS.
 - PIPES OR DUCTS THAT EXCEED ONE THIRD THE SLAB OR CONC. WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONC. UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, ACCESSORIES, ETC.
 - PIPES MAY PASS THRU STRUCTURAL CONC. IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.
 - PROVIDE 3/4" CHAMBERS AT ALL EXPOSED CORNERS.
 - SEE ARCHITECTURAL PLANS FOR MOLDS, GROOVES, ORNAMENTS CLIPS OR GROUNDS REQUIRED TO BE CAST IN CONCRETE, AND FOR LOCATIONS OF FLOOR FINISHES AND SLAB DEPRESSIONS.
 - LOCATION OF FOUR JOISTS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
 - O.C. TO FIELD VERIFY EXIST. SLAB IS NOT POST-TENSIONED. DO NOT CUT INTO POST-TENSIONED SLAB. LOCATE POST-TENSIONED SLAB TENDONS BY X-RAY DETECTION PRIOR TO STARTING ANY CUTTING OR DRILLING. SPECIAL CARE SHALL BE TAKEN NOT TO CUT ANY TENDONS DURING CONSTRUCTION.

CONCRETE

- UNLESS OTHERWISE NOTED ON PLANS CONCRETE SHALL BE TYPE II WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. CEMENT SHALL CONFORM TO A.S.T.M. C-150 FINE & COURSE AGGREGATE SHALL CONFORM TO A.S.T.M. C-33.
- WATER-CEMENT RATIO TO BE 0.45

REINFORCING STEEL

- REINFORCING STEEL, #5 AND #4 GRADE 40, #5 AND LARGER GRADE 60 PER A.S.T.M. A615.
- LOW HYDROGEN WELDING RODS SHALL BE USED FOR ALL WELDING OF REINFORCING BARS.
- BARS NOTED AS "CONT" TYPICAL WALL REINFORCING AND VERTICAL COLUMN REINFORCING SHALL HAVE A MINIMUM SPIRALS OF 50 BAR DIAMETERS LAP IN MASONRY OR 40 BAR DIAMETERS MINIMUM IN CONCRETE.
- REINFORCING SHALL BE SPLICED ONLY AS SHOWN OR NOTED. OTHER SPLICES SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
- SPLICES IN ADJACENT HORIZONTAL WALL REINFORCING BARS SHALL BE STAGGERED 4 FEET UNLESS OTHERWISE NOTED.
- PROVIDE DOWELS IN FOOTINGS AND/OR GRADE BEAMS THE SAME SIZE AND NUMBER AS VERTICAL WALL OR COLUMN REINFORCING. DOWELS SHALL HAVE A MINIMUM PROJECTION EQUAL TO STANDARD LAP SPLICE UNLESS OTHERWISE NOTED.
- ALL REINFORCING ANCHOR BOLTS, AND OTHER INSERTS, SHALL BE SECURED IN PLACE PRIOR TO POURING OF CONCRETE OR GROUTING OF CONCRETE.
- PROVIDE THE FOLLOWING MINIMUM PROTECTIVE COVERING OF CONCRETE: BELOW GRADE (FORMED)-----3" CLEAR BELOW GRADE (FORMED)-----1" CLEAR WALLS-----1" CLEAR COLUMNS-----1.5" CLEAR BEAMS AND GIRDERS-----1" CLEAR STRUCTURAL SLAB (ABOVE GRADE)-----3/4" CLEAR
- NUMBER 5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.

FRAMING NOTES

- FRAMING SHALL COMPLY WITH CHAPTER 23 OF THE 2022 CBC
- FRAMING-GENERAL**
- USE SIMPSON U-HANGERS ON ALL JOIST/BEAM/BEAM CONNECTIONS UNLESS NOTED ON PLANS.
 - ALL POSTS SHALL HAVE SIMPSON "PC" CONNECTORS AT TOP AND SIMPSON "BC" OR "BCO" CONNECTORS AT BASES UNLESS OTHERWISE NOTED ON PLANS.
 - ALL CONNECTING HARDWARE, JOIST HANGERS, THE STRAPS ETC. SHALL BE SIMPSON "STONG-TIE" UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.
- FRAMING-WALL**
- SIZE, SPACING & HEIGHT LIMITS FOR WOOD STUDS ARE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
2X4 @ 16"OC (BEARING WALL) SUPPORTING A MAXIMUM OF ONE FLOOR AND ONE ROOF SHALL HAVE A MAXIMUM HEIGHT OF 10 FEET
2X4 @ 16"OC (NON-BEARING WALL) SHALL HAVE A MAXIMUM HEIGHT OF 14 FEET
2X6 @ 16"OC (BEARING WALL) SUPPORTING A MAXIMUM OF TWO FLOORS AND A ROOF SHALL HAVE A MAXIMUM HEIGHT OF 10 FEET.
2X6 @ 16"OC (NON-BEARING WALL) MAXIMUM HEIGHT IS 20 FEET
 - RAKE WALLS ADJACENT TO SLOPED CEILINGS SHALL BE BALLOON FRAMED. DOUBLE TOP PLATES SHALL ALWAYS BE SUPPORTED BY A ROOF OR CEILING DIAPHRAM.
 - SHEAR WALL PANELS MUST BE CONTINUOUS TO THE TOP PLATE AT ROOF FRAMING. SHEATHING SHALL HAVE ALL EDGES BLOCKED & THE APPROPRIATE SHEAR TRANSFER THRU CEILING OR SOFFIT FRAMING.
 - BORING AND NOTCHING OF WALL STUDS SHALL BE PER 2022 C.B.C. (2308.5.9 & 2308.5.10)
NOTCHING MAXIMUM: 25% OF WIDTH ON BEARING WALLS
BORING MAXIMUM: 40% OF WIDTH ON NON-BEARING WALLS
40% OF WIDTH ON NON-BEARING WALLS.
NOTE: A MIN 5/8" CLEARANCE FROM EDGE OF STUD TO HOLE SHALL BE PROVIDED.
 - DOUBLE 2X TOP PLATE SHALL BE LAPPED 48" AT ALL SPLICES AND SHALL OVERLAP AT CORNERS.
 - WALL BRACING SHALL BE PROVIDED PER 2019 C.B.C. (2308.6.1) PROVIDE 1X6 LET-IN BRACING (Ø APPROX. 45 DEGREES) EVERY 25' IN ALL STUD WALL NOT SHEATHED. BRACES TO RUN CONTINUOUS FROM TOP PLATE TO SILL PLATE.
 - ALL PLUMBING WALL SHALL BE 2X6 STUDS @ 16" O/C (MIN)

FRAMING-FLOOR

- FLOOR SHEATHING (MIN) 3/4" STRUCTURAL I T & G PLYWOOD PANEL INDEX NO. 32/16 WITH EXTERIOR GLUE. USE 10d NAILS AT 6"OC AT ALL EDGES, BOUNDARIES, SHEARWALLS & 10"OC FIELD. NO BLOCKING IS REQUIRED UNLESS NOTED ON PLAN. ALL EDGES BLOCKED AT DECKS.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL NON-BEARING PARTITIONS.
- PROVIDE CONTINUOUS BLOCKING BETWEEN FLOOR JOISTS UNDER BEARING WALLS WHICH ARE PERPENDICULAR TO JOISTS.
- FRAMING AROUND OPENINGS: TRIMMER AND HEADER JOISTS SHALL BE DOUBLED AND SUPPORTED BY HANGERS PER CODE (2019 CBC 2308.7.6).

FRAMING-ROOF

- ROOF SHEATHING (MIN) 1/2" STANDARD PLYWOOD PANEL INDEX NO. 24/0 WITH EXTERIOR GLUE. USE 8d NAILS AT 6"OC AT ALL EDGES, BOUNDARIES AND SHEAR WALLS & 12" OC FIELD. NO BLOCKING IS REQUIRED UNLESS NOTED ON PLAN.
- FRAMING AROUND OPENINGS: TRIMMER AND HEADER JOISTS SHALL BE DOUBLED AND SUPPORTED BY HANGERS PER CODE.

FRAMING-CEILING PER 2022 C.B.C. TABLE 2308.7.1(2)

- CEILING JOISTS SHALL BE 2X6 @ 16" O.C. (MAX SPAN=12'-10")
- CEILING JOISTS SHALL BE 2X8 @ 16" O.C. (MAX SPAN=16'-3")

FRAMING-JOISTS/RAFTERS

- BORING AND NOTCHING OF JOISTS SHALL BE AS FOLLOWS: (2022 CBC 2308.7.4)
BORING-MAX. DIA. OF HOLE SHALL NOT EXCEED 1/3 OF DRESSED DEPTH OF JOIST WITH A MINIMUM EDGE CLEARANCE OF TWO INCHES. NOTCHING-MAX. DEPTH AT ENDS SHALL NOT EXCEED 1/4 OF DRESSED DEPTH. NO NOTCHING IS ALLOWED IN THE CENTER THIRD OF THE JOIST SPAN. NOTCHING IN OTHER LOCATIONS SHALL BE ON THE COMPRESSIVE SIDE WITH A MAX DEPTH OF 1/6 OF THE JOIST DEPTH.
- WHERE THREE OR MORE (MULTI JOISTS) ARE USED THE JOISTS SHALL BE BOLTED TOGETHER WITH 1/2" DIA MACHINE BOLTS W/ WASHERS AT 24"OC STAGGERED. BOLTS SHALL BE RETIGHTENED PRIOR TO APPLYING FINISH MATERIALS.
- JOISTS/RAFTERS SHALL LAP AT SPLICES A MIN. OF 4 INCHES WITH 3-16d NAILS OR USE SIMPSON ST 2115 @ 48 INCHES O.C.
- CROSS BRIDGING OR 2X BLK SHALL BE PROVIDED @ 8'-0" O/C, MAX. FOR ALL JOISTS AND RAFTERS MORE THAN 8" IN DEPTH
- 2X SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS.

FRAMING-BOLTING

- ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD OR NUT. SEE SCHEDULE
- ALL BOLTS SHALL BE RETIGHTENED, PRIOR TO APPLICATION OF PLYWOOD, PLASTER ETC.
- HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER THAN NOMINAL BOLT DIAMETER.

LUMBER

- ALL LUMBER SHALL BE DOUGLAS FIR LARCH OF THE FOLLOWING GRADES UNLESS OTHERWISE NOTED (MAX MOISTURE CONTENT SHALL NOT EXCEED 19% & GRADED IN ACCORDANCE WITH THE WEST COAST LUMBERMANS ASSOCIATION.)

REPEATITIVE USE MEMBERS

STUDS & PLATES-----NO.2
JOISTS & RAFTERS-----NO.2
2X4 TO 4X4 INCLUSIVE-----NO.2
2X6 TO 3X16 INCLUSIVE-----NO.2

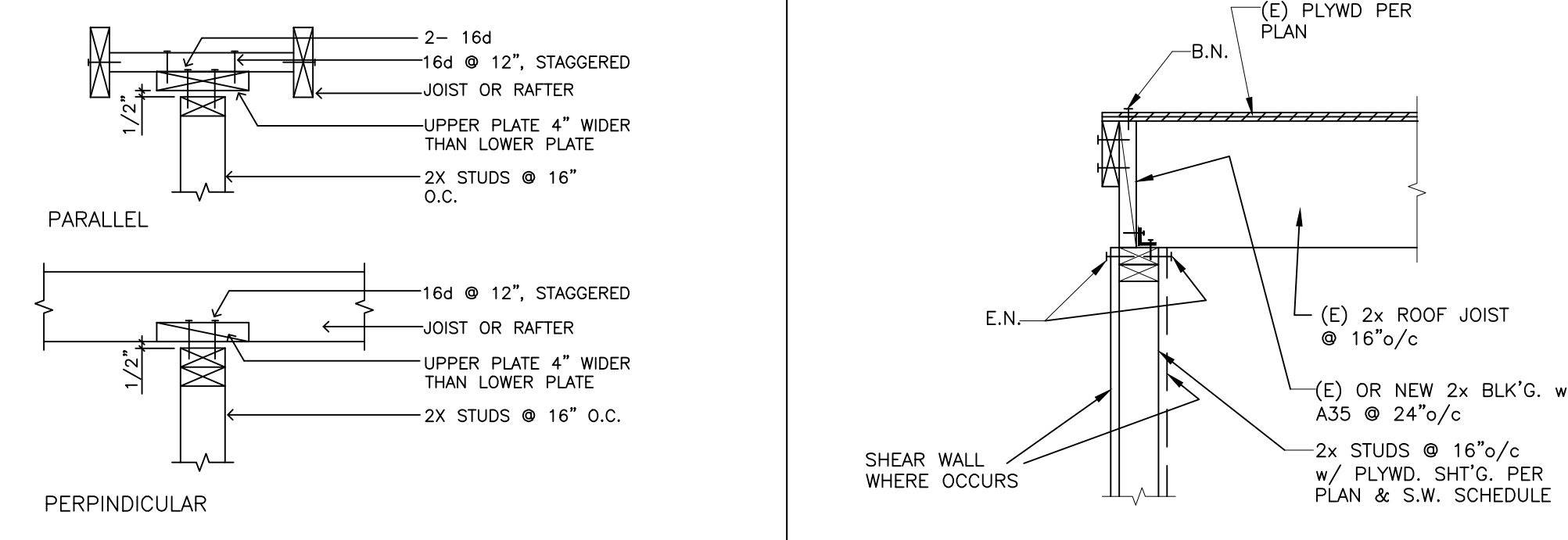
SINGLE USE MEMBERS

BEAMS
4X-----NO.2
6X OR LARGER-----NO.1
POSTS & MULLIONS-----NO.1
4X4 & SMALLER-----NO.2
4X6 & LARGER-----NO.2
6X & LARGER-----NO.1
MISCELLANEOUS LUMBER
BLOCKING, FLOORING, ETC-----NO.3
DECKING & SHEATHING-----COMM'L DEX.
2X, 3X, 4X-----

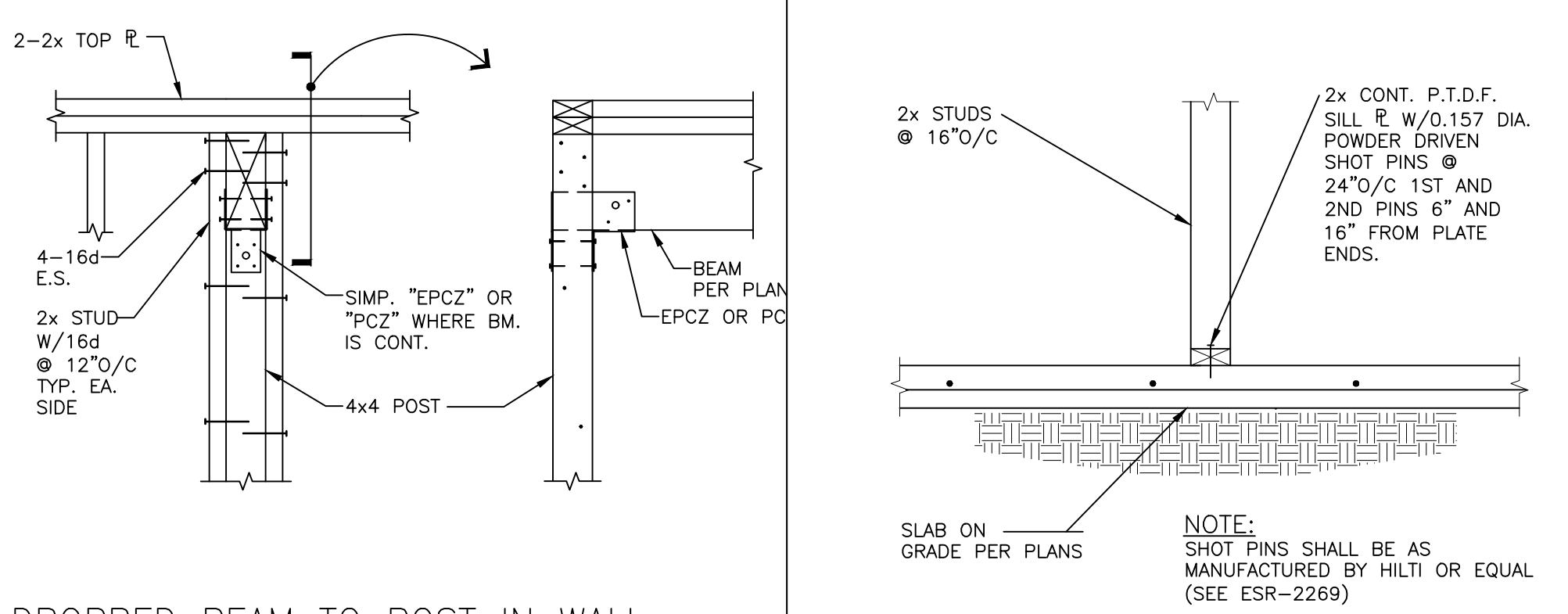
- ALL WOOD BEARING ON CONCRETE OR MASONRY IF LESS THAN 4 FEET FROM GRADE SHALL BE PRESSURE TREATED DOUG FIR.
- GLUED-LAMINATED WOOD BEAMS SHALL BE DOUGLAS FIR COMB. 24F-V8(4) D7/D7 (E=2400PSI, F=165 PSI, E=180,000 PSI) INDUSTRIAL APPEARANCE WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED ON PLANS. A CERTIFICATE OF INSPECTION FOR EACH GLU-LAM BEAM FROM AN APPROVED TESTING AGENCY TO BE SUBMITTED AND APPROVED BY THE BUILDING DEPT. PRIOR TO ERECTION. [(+) USE V8 FOR CANT. BEAMS AND V4 FOR SIMPLE SPANS BEAMS]
- ALL STRUCTURAL PLYWOOD SHALL BE IN ACCORDANCE WITH DOC P.S.1-07

NAILING SCHEDULE (2022 CBC TABLE 2304.10.1)

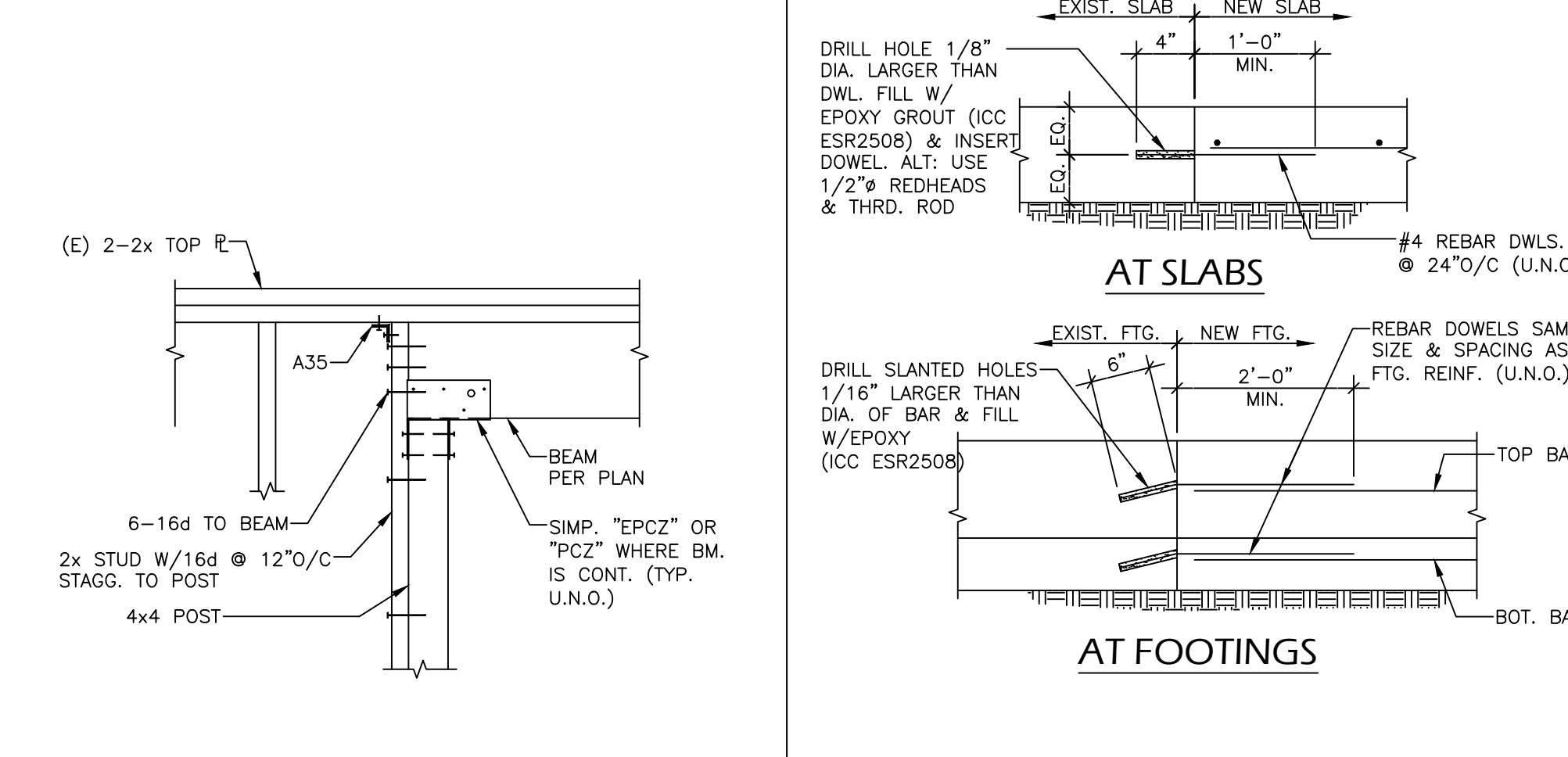
- THIS NAILING IS TYPICAL UNLESS OTHERWISE NOTED NAILS SHALL BE BOX OR COMMON WIRE SPECIFICALLY DETAILED CONNECTIONS SHALL BE NAILED WITH COMMON WIRE NAILS. DIAPHRAM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTIONS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.
- JOISTS OR RAFTERS TO SIDES OR STUDS**
- 8" INCHES IN DEPTH OR LESS-----3-16d FOR EACH ADDITIONAL 4" DEPTH ADD-----1-16d
JOISTS OR RAFTERS AT ALL BEARING TOE NAIL EACH SIDE-----3-16d
STUDS TO BEARING-TOE NAILS EA SIDE-----4-8d
BLOCKING BETWEEN JOISTS/RAFTERS TO THE JOISTS/RAFTERS TOE NAILS EA SIDE-----3-10d
FROM BLOCKING TO BEARING TOE NAILS EA SIDE-----2-10d
AT EACH END-TOE NAILS-----2-10d
END NAILS-----2-16d
PROGRESSIVE BLOCKING RAFTER TO BLOCK & BLOCK TO CONT. NAILED-----2-16d
MULTIPLE STUDS (STAGGER NAILS ON STUDS WIDER THAN 4')-----6d@24"OC
RIBBON TO STUDS-----2-8d
1X RIBBON-----2-8d
2X RIBBON-----2-16d
DOUBLE TOP PLATES LOWER PLATE TO STUD-----2-16d
UPPER TO LOWER PLATE AT SPLICES (AS MIN) ON EACH SIDE OF BUTT IN TOP PLATE-----16d@16"OC
UPPER TO LOWER PLATE AT INTERSECTIONS-----8-16d
- PLYWOOD NAILING/SEE DETAILS &/OR SCHEDULES**
- BUILT UP BEAMS-----20d@32"OC T&B STAGGERED 2-20d @ END
1X6 LET-IN BRACES, EACH BEARING-----2-8d
(PRE-DRILL HOLES FOR NAILS)



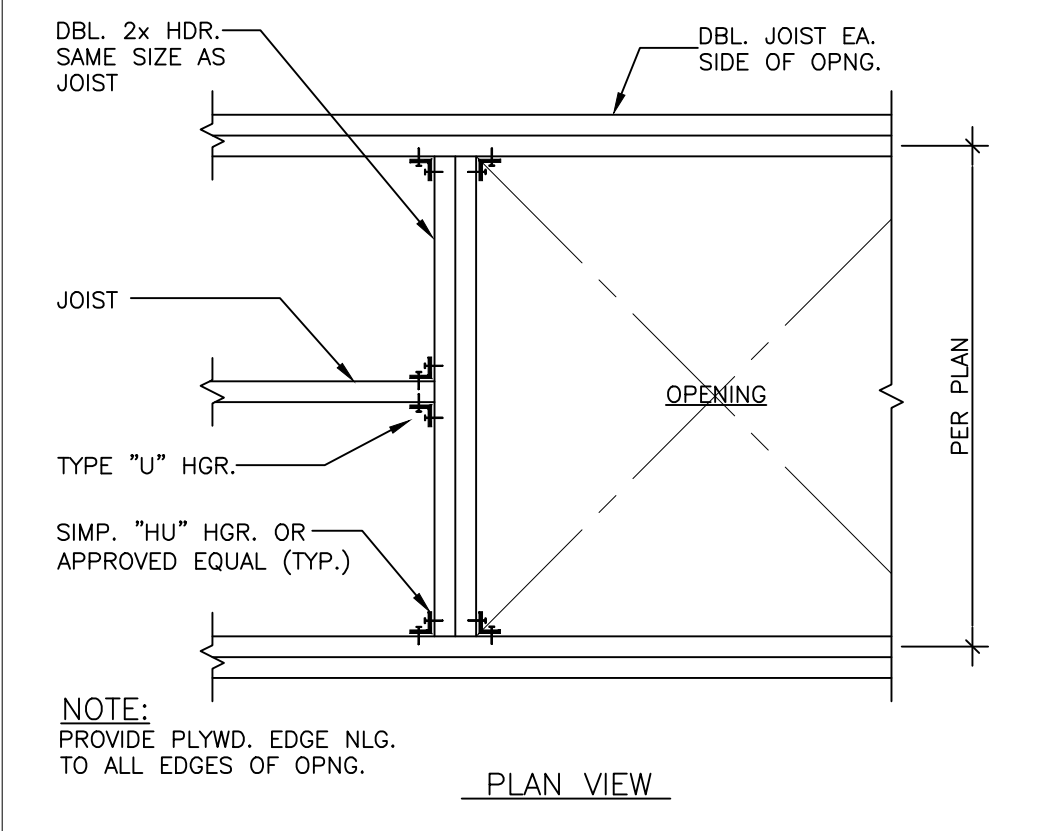
(TYP.) JOIST TO NON-BEARING WALL 8 TYP. RAKE WALL DETAIL 4



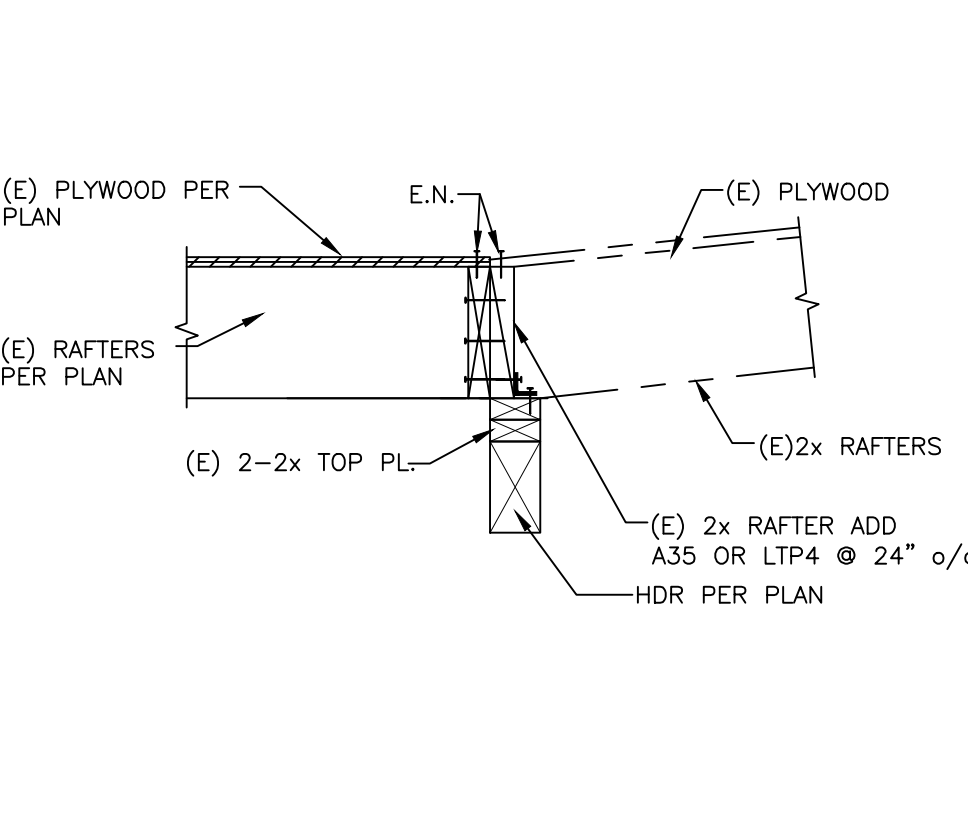
DROPPED BEAM TO POST IN WALL 7 NON-BEARING WALL @ SLAB 3



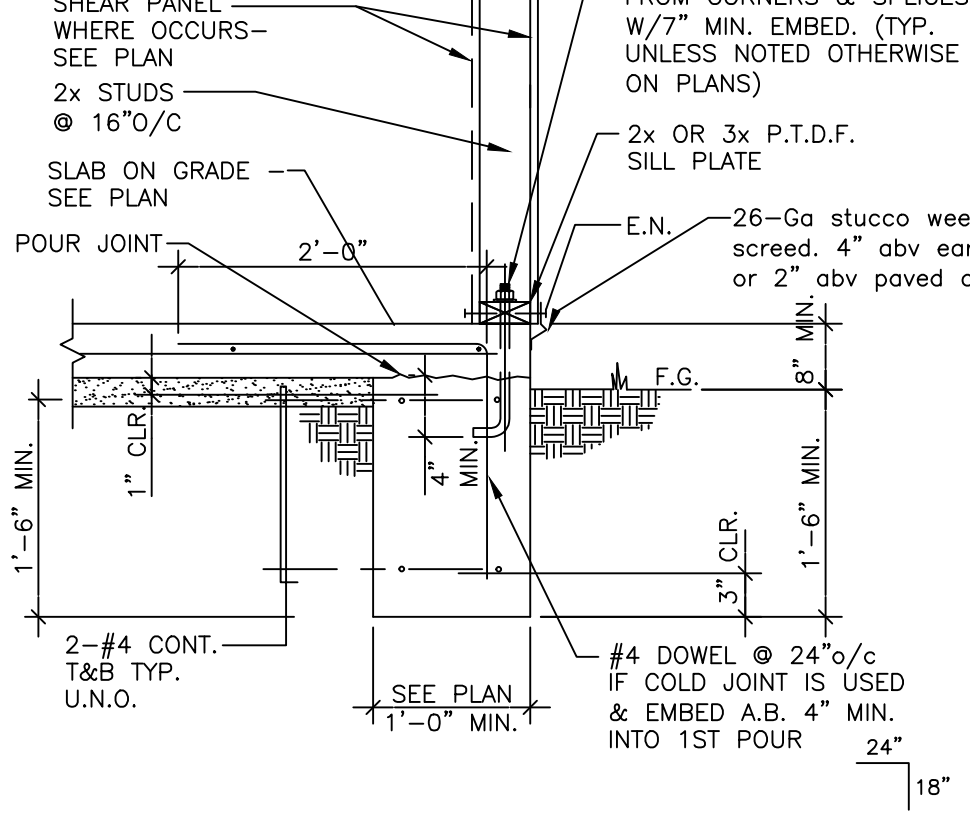
DROPPED BM. DRAG CONN. 6 TYP. EPOXY DOWELS DETAIL 2



TYP. OPENING FRAMING DETAIL 9



SHEAR TRANSFER AT ROOF 5



TYP. EXTERIOR FOOTING 1

SLIM DESIGN
CONSULTING INC.
RESIDENTIAL & COMMERCIAL
TEL: (310) 467-1387
FLIM@SLIMDESIGNCONSULTING.COM
PLANS BY: FIRAS SLIM

STAMP

FIRAS SLIM
REGISTERED PROFESSIONAL ENGINEER
NO. C 66889
Exp. 9/31/25
STATE OF CALIFORNIA
CIVIL

PROJECT

301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

**CONSOLE RESIDENCE
REMODEL & ADDITION**

Revision	By:
Date	
Date	07/12/2023
Scale:	
Drawn by:	F.SLIM
Job:	
File:	
S2	
SHEET NO.	

CONDITIONS OF APPROVAL

Manor: 301-A

Variance Description: Extend Living Room into Patio area 5'-11"x 17'-3"

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the interlocking pavers shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to Issuance of a Mutual Consent for Alterations member is to provide coordination with Landscaping of Interlocking paver landing at new door. Member is responsible for all costs associated with Landscape services.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at **301 Avenida Sevilla Unit A**, (“Property”) within the United Laguna Woods Mutual (“Mutual”) without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. (“VMS, Inc.”), Alterations Division (“Division”), or, in the event of a Variance from the Mutual’s Alteration Standards, the Architectural Control and Standards Committee (“ACSC”). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members (“Member”) agrees to comply with the Mutual’s Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 301 Avenida Sevilla Unit A and all future Mutual Members at 301 Avenida Sevilla Unit A.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a

copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.21. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

DRAFT



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 301 Avenida Seville Unit A, a Madrid style manor, requests the Architectural Control and Standards Committee approval of a variance to extend living room into patio area 5'-11"x 17'-3"; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to extend living room into patio area 5'-11"x 17'-3"

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to extend living room into patio area 5'-11"x 17'-3"; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 301 Avenida Seville Unit A, and all future mutual members at 301 Avenida Seville Unit A; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

This Page Left Intentionally Blank



STAFF REPORT

DATE: February 15, 2024
FOR: Architectural Control and Standards Committee
SUBJECT: Revision to Standard 20: Balcony, Patio, and Atrium Covers

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the revised Standard 20: Balcony, Patio and Atrium Covers.

BACKGROUND

The ACSC initiated a review of Standard 20: Patio and Balcony Covers (Attachment 1) and proposed revisions to bring it up to current standards and improved design options. Standard 20 was last revised in January 2019, via Resolution 01-19-07 (Attachment 2).

DISCUSSION

The suggested modifications to this standard are recommended in order to allow for updates in material selections; clarify definitions and modifications to existing drainage conditions; clarify allowable conditions for interior atriums; and update drainage requirements for the patio/balcony covers as outlined in Attachment 3.

FINANCIAL ANALYSIS

The proposed revisions to Standard 20 will not impact the budget.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director
Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 20: Patio and Balcony Covers; Aluminum and Vinyl
Attachment 2 – Current Resolution 01-19-07
Attachment 3 – Redlined Revised Standard 20: Balcony, Patio and Atrium Covers
Attachment 4 – Final Draft Standard 20: Balcony, Patio and Atrium Covers
Attachment 5 – Proposed Resolution 01-24-XX



STANDARD 20: BALCONY AND PATIO COVERS;ALUMINUM AND VINYL
 JULY 2002, RESOLUTION U-02-107
 APRIL 2008, RESOLUTION 01-08-60
 GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
 REVISED JANUARY 2015, RESOLUTION 01-15-02
 GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
 GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
 REVISED JANUARY 2019, RESOLUTION 01-19-07

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1** Posts shall be of aluminum or vinyl (including alumawood, or vinyl-clad materials), square type, or to match existing posts of covers on the building.
- 2.2** All posts must be anchored to concrete slabs or inside patio walls. Posts may be attached to walls only if such walls have been constructed and inspected for such applications.
- 2.3** Color options for aluminum patio covers are white, almond or bronze. Color options for vinyl materials are white, beige, and adobe. The color of the first patio cover or enclosure on each side of the Building sets color precedence for all future patio cover and/or enclosure installations. Color may match stucco in some cases where no wood trim exists as defined by the Alterations Division.
- 2.4** Balcony covers of aluminum must have aluminum fascias.
- 2.5** In the case that the alteration results in the compromise of an existing roof drainage system, the Member will be responsible for repairing, modifying or replacing the existing system, including installing an appropriate downspout, if necessary.
- 2.6** Downspouts must be painted to match the surface to which they may be attached. Downspouts shall not empty into other patio areas or hinder maintenance in any way. Gutters and downspouts shall be installed per Standard 18: Gutters and Downspouts.



- 2.7 Plastic skylight panels, as produced by the manufacturer, may be installed in patio covers. Installations shall be per approved specifications as outlined by the manufacturer's recommendations.
- 2.8 Plexiglas, corrugated fiberglass, and similar coverings will not be permitted.
- 2.9 Buildings with atriums may install a cover that conforms to the light and ventilation requirements of Section 12 of the California Building Code. The cover may not extend above the height of the existing walls. Skylight type panels are optional. A cover may not be installed over an atrium when the atrium serves as a means of exit for a sleeping room.
- 2.10 All patio covers must be built per standard plan drawings in dimension and structure. Only those covers with state approved engineering specifications will be accepted.
- 2.11 Covers will span only the patio area as defined by the patio slab, wall, or as indicated on the standard drawing.
- 2.12 Overhang dimensions will be per standard plan drawings or as determined by the Alterations Division.

3.0 PATIOS OVER WHICH A BALCONY EXISTS

- 3.1 Patio covers may not extend beyond the original construction footprint of a manor that lies beneath a balcony, exclusive of the required 6" overhang for the incorporated gutter system.
- 3.2 Flat roofs may not replace existing eyebrow covers if the enclosure extends beyond the original construction footprint.
- 3.3 Existing flat roofs may be replaced with a flat roof of equal or lesser size.
- 3.4 The color of the patio cover roof surface must be factory-finished and match the building. Caulking color shall match the finish of the cover and the width of the caulk lines shall be kept to a minimum.
- 3.5 The patio cover roof surface must drain away from the building.

Resolution 01-19-07

Revisions to Architectural Standard 20: Patio Covers; Aluminum

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognize the need to create Alteration Standard 20: Balcony and Patio Covers: Aluminum and Vinyl

NOW THEREFORE BE IT RESOLVED, January 8, 2019, that the Board of Directors of this Corporation hereby adopts revisions to Alteration Standard 20: Balcony and Patio Covers: Aluminum and Vinyl, attached as part of the official minutes of this meeting;

RESOLVED FURTHER, that Resolution 01-15-02, adopted January 2015, is hereby superseded and cancelled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 20: BALCONY, ~~AND PATIO~~ AND ATRIUM COVERS; ~~ALUMINUM AND VINYL~~

JULY 2002, RESOLUTION U-02-107

APRIL 2008, RESOLUTION 01-08-60

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

REVISED JANUARY 2015, RESOLUTION 01-15-02

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57

REVISED JANUARY 2019, RESOLUTION 01-19-07

REVISED [DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD ~~SECTION~~ 1: GENERAL REQUIREMENTS

2.0 DEFINITIONS

2.1 Balcony: A platform that projects from the wall of a manor and is enclosed by a parapet or railing.

2.2 Patio: A paved area that adjoins the manor at ground level which does not serve as walkway or landing.

2.3 Balcony/Patio Cover: A single story architectural projection that provides weather protection or decoration and is partially or wholly supported by the building to which it is attached. A cover is comprised of a lightweight frame structure over which a covering is attached.

2.4 Atrium: An open space without a roof in the interior of a floor plan enclosed by walls on all four sides.

2.5 Atrium Cover: Can be described as in item 2.4 or a cover that encloses the entire open space in a more permanent nature.

2.03.0 APPLICATIONS

3.1 Posts shall be of aluminum or vinyl (including alumawood, or vinyl-clad materials), square type, or to match existing posts of covers on the building. The cover may be either fixed or retractable.

3.2 All covering materials shall meet all local, state and federal requirements.

2.13.3 Alterations to existing roof structure and drainage/guttering system

are prohibited.

2.23.4 All posts must be anchored to concrete slabs or inside patio walls. Posts may be attached to walls only if such walls have been constructed and inspected for such applications. Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and Downspouts requirements.

3.5 Color options for aluminum patio covers are white, almond or bronze. Color options for vinyl materials are white, beige, and adobe. The color of the first patio cover or enclosure on each side of the Building sets color precedence for all future patio cover and/or enclosure installations. Color may match stucco in some cases where no wood trim exists as defined by the Alterations Division. All new downspouts must be painted to match the surface to which they are attached.

2.33.6 Posts and all main structural elements shall be made of aluminum, power coated aluminum or vinyl clad aluminum.

2.43.7 Balcony covers of aluminum must have aluminum fascias. All posts must be anchored directly to concrete slab or original balcony flooring.

3.8 In the case that the alteration results in the compromise of an existing roof drainage system, the Member will be responsible for repairing, modifying or replacing the existing system, including installing an appropriate downspout, if necessary. Color finish options: white, almond, bronze to blend with existing surrounding conditions as closely as possible.

2.5

2.63.9 Downspouts must be painted to match the surface to which they may be attached. Downspouts shall not empty into other patio areas or hinder maintenance in any way. Gutters and downspouts shall be installed per Standard 18: Gutters and Downspouts. Premanufactured skylights are allowed in patio covers. Manufacturer specifications and installation guidelines for skylights to be included with mutual consent application.

2.73.10 Plastic skylight panels, as produced by the manufacturer, may be installed in patio covers. Installations shall be per approved specifications as outlined by the manufacturer's recommendations. Plexiglas, corrugated fiberglass and similar coverings will not be allowed.

3.11 Plexiglas, corrugated fiberglass, and similar coverings will not be permitted. All plans submitted must provide proper engineering

approvals and be compliant with current California Building Codes.

2.8

3.12 Buildings with atriums may install a cover that conforms to the light and ventilation requirements of Section 12 of the California Building Code. The cover may not extend above the height of the existing walls. Skylight type panels are optional. A cover may not be installed over an atrium when the atrium serves as a means of exit for a sleeping room. Balcony/patio covers to cover only the balcony/patio areas as defined by the patio slab, patio wall, balcony railing or as detailed on building standard plans.

2.9

2.10 All patio covers must be built per standard plan drawings in dimension and structure. Only those covers with state approved engineering specifications will be accepted.

2.11 Covers will span only the patio area as defined by the patio slab, wall, or as indicated on the standard drawing.

2.12 Overhang dimensions will be per standard plan drawings or as determined by the Alterations Division.

4.0 ATRIUMS

4.1 Covers are allowed over an atrium if:

A. All existing rooms directly adjoining the atrium are NOT classified as bedrooms.

B. A bedroom directly adjoining the atrium has a second opening directly to the exterior that meets emergency egress requirements.

4.2 A cover may not extend above the height of the existing walls.

4.3 All atrium covers of a more permanent nature may vary from above requirements provided that they conform to the current California Building Codes. Plans and details to be included with mutual consent application. Plans and details are also subject to review and approval by the City of Laguna Woods Building Department.

4.4 Exceptions to 4.1

- A. Per California Building Code, Title 24, Part 2.5, Section R310, all bedrooms must have an emergency escape and rescue opening directly to a public way. Covers shall not be allowed over atriums where a bedroom directly adjoins an atrium and the only means of egress to outside is into an atrium.
- B. Covers may be allowed if a bedroom that adjoins an atrium is reclassified as a “non-sleeping” room. A “non-sleeping” room is defined as a space such as an office or den and which does not have a bedroom egress requirement. Plans indicating this change must be submitted and recorded with the Laguna Woods City Clerk as well as submitted and recorded at the County of Orange Records Office.

3.05.0 PATIOS OVER WHICH UNDER EXISTING A BALCONIES EXISTS

- 3.15.1** Patio covers may not extend beyond the original construction footprint of the balcony above, exclusive of the allowance needed for gutter system. footprint of a manor that lies beneath a balcony, exclusive of the required 6” overhang for the incorporated gutter system.
- 3.2** —Patio cover shall not impede or interfere with any existing building drainage system. No variances to this requirement will be accepted. Flat roofs may not replace existing eyebrow covers if the enclosure extends beyond the original construction footprint.
- 3.3** —Existing flat roofs may be replaced with a flat roof of equal or lesser size.
- 3.4** —The color of the patio cover roof surface must be factory finished and match the building. Caulking color shall match the finish of the cover and the width of the caulk lines shall be kept to a minimum.
- 3.5** —The patio cover roof surface must drain away from the building.



STANDARD 20: BALCONY, PATIO AND ATRIUM COVERS

JULY 2002, RESOLUTION U-02-107

APRIL 2008, RESOLUTION 01-08-60

GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104

REVISED JANUARY 2015, RESOLUTION 01-15-02

GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08

GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57

REVISED JANUARY 2019, RESOLUTION 01-19-07

REVISED [DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 DEFINITIONS

- 2.1** Balcony: A platform that projects from the wall of a manor and is enclosed by a parapet or railing.
- 2.2** Patio: A paved area that adjoins the manor at ground level which does not serve as walkway or landing.
- 2.3** Balcony/Patio Cover: A single story architectural projection that provides weather protection or decoration and is partially or wholly supported by the building to which it is attached. A cover is comprised of a lightweight frame structure over which a covering is attached.
- 2.4** Atrium: An open space without a roof in the interior of a floor plan enclosed by walls on all four sides.
- 2.5** Atrium Cover: Can be described as in item 2.4 or a cover that encloses the entire open space in a more permanent nature.

3.0 APPLICATIONS

- 3.1** The cover may be either fixed or retractable.
- 3.2** All covering materials shall meet all local, state and federal requirements.
- 3.3** Alterations to existing roof structure and drainage/guttering system are prohibited.

- 3.4 Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and Downspouts requirements.
- 3.5 All new downspouts must be painted to match the surface to which they are attached.
- 3.6 Posts and all main structural elements shall be made of aluminum, power coated aluminum or vinyl clad aluminum.
- 3.7 All posts must be anchored directly to concrete slab or original balcony flooring.
- 3.8 Color finish options: white, almond, bronze to blend with existing surrounding conditions as closely as possible.
- 3.9 Premanufactured skylights are allowed in patio covers. Manufacturer specifications and installation guidelines for skylights to be included with mutual consent application.
- 3.10 Plexiglas, corrugated fiberglass and similar coverings will not be allowed.
- 3.11 All plans submitted must provide proper engineering approvals and be compliant with current California Building Codes.
- 3.12 Balcony/patio covers to cover only the balcony/patio areas as defined by the patio slab, patio wall, balcony railing or as detailed on building standard plans.

4.0 **ATRIUMS**

- 4.1 Covers are allowed over an atrium if:
 - A. All existing rooms directly adjoining the atrium are NOT classified as bedrooms.
 - B. A bedroom directly adjoining the atrium has a second opening directly to the exterior that meets emergency egress requirements.
- 4.2 A cover may not extend above the height of the existing walls.
- 4.3 All atrium covers of a more permanent nature may vary from above requirements provided that they conform to the current California Building Codes. Plans and details to be included with mutual consent

application. Plans and details are also subject to review and approval by the City of Laguna Woods Building Department.

4.4 Exceptions to 4.1

- A. Per California Building Code, Title 24, Part 2.5, Section R310, all bedrooms must have an emergency escape and rescue opening directly to a public way. Covers shall not be allowed over atriums where a bedroom directly adjoins an atrium and the only means of egress to outside is into an atrium.
- B. Covers may be allowed if a bedroom that adjoins an atrium is reclassified as a “non-sleeping” room. A “non-sleeping” room is defined as a space such as an office or den and which does not have a bedroom egress requirement. Plans indicating this change must be submitted and recorded with the Laguna Woods City Clerk as well as submitted and recorded at the County of Orange Records Office.

5.0 **PATIOS UNDER EXISTING BALCONIES**

- 5.1 Patio covers may not extend beyond the original construction footprint of the balcony above, exclusive of the allowance needed for gutter system.
- 5.2 Patio cover shall not impede or interfere with any existing building drainage system. No variances to this requirement will be accepted.



RESOLUTION 01-24-XX
REVISED STANDARD 20: BALCONY, PATIO AND ATRIUM COVERS

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognized the need to revise Standard: 20 Patio and Balcony Covers; Aluminum and Vinyl;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 20: Balcony, Patio and Atrium Covers; and

RESOLVED FURTHER, Resolution 01-19-07 adopted January 08, 2019, is hereby superseded and canceled; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

MARCH INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.



STAFF REPORT

DATE: February 15, 2024
FOR: Architectural Control and Standards Committee
SUBJECT: Enact Standard 39: Balcony and Patio Enclosures

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the enactment of Standard 39: Balcony and Patio Enclosures.

BACKGROUND

The ACSC initiated a write-up of Standard 39: Balcony and Patio Enclosures (Attachment 1) and the proposed resolution (Attachment 2).

DISCUSSION

While Standard 20: Balcony and Patio Covers already exists, it does not address the many specific aspects associated with a full balcony and patio enclosure. In order to provide clarification between 'cover' and 'enclosure' as well as clear guidelines for architectural, structural and building requirements for both patio and balcony enclosures, enactment of Standard 39 became necessary.

FINANCIAL ANALYSIS

The proposed revisions to Standard 39 will not impact the budget.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director
Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Proposed Standard 39: Balcony and Patio Enclosures
Attachment 2 – Proposed Resolution 01-24-XX



STANDARD 39: BALCONY AND PATIO ENCLOSURES
[DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 DEFINITIONS

- 2.1** Balcony: A balcony is a platform that projects from the wall of a manor and is enclosed by a parapet or railing.
- 2.2** Patio: A paved area that adjoins the manor at ground level which does not serve as a walkway or landing.
- 2.3** Balcony/patio enclosure: A single story structure covering a balcony or patio area. It consists of a protected open or enclosed roof, and three sides with the fourth side being the outside face of the manor.

3.0 APPLICATIONS

- 3.1** All submitted plans must provide proper architectural and or engineering approvals.
- 3.2** All submitted plans must indicate compliance with all current California Building Codes.
- 3.3** Balcony/patio enclosures may encompass all or part of the balcony/patio footprint. However, in no case shall the enclosure encroach on any existing HVAC equipment.
- 3.4** All ventilation to be provided naturally through openings in the enclosure. In no case shall additional plumbing heating or air conditioning fixtures be added as part of the enclosure.
- 3.5** Enclosure design without modifications to existing roof structure is strongly encouraged.
- 3.6** All changes to the existing building roof structure to allow for the installation of the new balcony/patio enclosure:
 - A.** Must provide approved engineering details.
 - B.** Must replace roofing materials with like for like.
 - C.** Must provide for any and all modifications necessary to maintain the building's existing guttering/downspout system

and comply with Standard 18: Gutters & Downspouts.

- D. May trigger an asbestos review and containment protocol.
 - E. Must be reviewed and approved by Manor Alterations for conformance with architectural guidelines.
 - F. Must be submitted, reviewed, and approved by the City of Laguna Woods Building Department.
- 3.7** Balcony/patio enclosures to be manufactured with aluminum, power coated aluminum or vinyl clad aluminum, and/or including allowances for vinyl windows. Alternate materials maybe considered but will have to provide manufacturers engineering approved plans with submittal.
- 3.8** All bottom track framing, or related structural members to be secured directly to patio concrete slab or original balcony flooring.
- 3.9** Color finish options: white, almond, bronze, to complement existing surrounding conditions as closely as possible.

4.0 PATIOS

- 4.1** The roof structure of balcony above may be considered as roof/ceiling for patio balcony if the enclosure requires support by existing balcony/ceiling, architectural and or engineering verification is required.
- 4.2** Patio enclosure must not extend beyond face of existing balcony above unless necessary to accommodate proper guttering and drainage requirements.
- 4.3** A guttering/downspout system is required and must conform to Standard 18: Gutters and Downspouts.
- 4.4** Privacy patio stone walls may be utilized as part of the patio enclosure if structural verification of said use is provided.
- 4.5** Patios may be partially enclosed.

5.0 BALCONIES

- 5.1** Evidence of compliance with California Balcony Law (SB-326) for structural integrity of existing balcony is required prior to installation of a new balcony enclosure. Inspection of existing balcony by a licensed architect or structural engineer is required if there is no pre-existing evidence of compliance.
- 5.2** Member is responsible for all costs necessary to provide evidence of compliance.

- 5.3 Premanufactured skylights are allowed in ceiling/roof assembly. Manufacturers specifications and installation guidelines must be included with mutual consent application.
- 5.4 All enclosures must be inside of existing railing, handrails or parapets sufficient to allow enough space for ongoing maintenance of said surroundings.

6.0 **GLAZING**

- 6.1 All glazing must be clear in nature and be tempered safety glass no less than 1/8" in thickness.
- 6.2 Plexiglass, corrugated fiberglass and similar coverings will not be allowed.
- 6.3 Frosted, bottle-type, stained, or louvered-glass type shall not be allowed.
- 6.4 Solar glass, tinted glass, smoke-type glass or film that is applied to glass at the time of manufacturing shall be accepted provided it conforms to Section 6.4
- 6.5 Reflective tints or films applied to glazing after manufacturing may be applied to glazing providing it does not have a reflectivity factor of more than 15%. Written documentation must be included with application.
- 6.6 Glazing energy efficient recommendations:
 - A. Use low *eGlass*
 - B. Use *Energy Star* rated windows
 - C. Use dual pane windows
- 6.7 All glass/window screens must be readily removable from the interior only by lifting out of a track without the use of tools.

7.0 **GUTTERING & DOWNSPOUTS**

- 7.1 All balcony enclosures are required to have a guttering/downspout system installed. Downspouts shall not empty into other patio areas or hinder maintenance in any way. All gutter and downspout systems to comply with United Laguna Woods Mutual Standard 18: Gutters & Downspouts.
- 7.2 Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and

Downspouts requirements.

8.0 OWNERSHIP

- 8.1** The member is responsible for all costs associated with a balcony enclosure addition and all related building modifications.
- 8.2** Once installation is complete, the member becomes responsible for all costs associated with ongoing maintenance.
- 8.3** Should it become necessary, member is directly responsible for the removable of all or partial enclosure so as to facilitate building maintenance.



RESOLUTION 01-24-XX
ENACT STANDARD 39: BALCONY AND PATIO ENCLOSURES

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognized the need to enact Standard 39: Balcony and Patio Enclosures;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts Standard 39: Balcony and Patio Enclosures; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

MARCH INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.