

OPEN MEETING

REGULAR OPEN MEETING OF THE UNITED LAGUNA WOODS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

Thursday, February 15, 2024 – 9:30 a.m.
Laguna Woods Village Board Room /Virtual Meeting
24351 El Toro Road, Laguna Woods, CA 92637

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions regarding virtual meetings using one of two options:

- 1. Join via Zoom by clicking this link: https://us06web.zoom.us/j/91432172027 or by calling 669-900-6833 Webinar ID: 91432172027.
- 2. Via email to meeting@vmsinc.org any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Name and unit number must be included.

NOTICE and AGENDA

This Meeting May Be Recorded

- 1. Call to Order
- 2. Acknowledgement of Media
- 3. Approval of Agenda
- 4. Approval of Meeting Report for January 18, 2024
- 5. Chair's Remarks
- 6. Member Comments (Items Not on the Agenda)
- 7. Division Manager Update
- 8. Consent: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.
 - a. Monthly Mutual Consent Report
- 9. Variance Requests
 - a. 59-G: Variance to Install a Fence and Gate
 - b. 372-D: Variance to Add Windows
 - c. 301-A: Variance to Extend Living Room into Patio Area
- 10. Items for Discussion and Consideration
 - a. Revision to Standard 20: Patio Covers; Aluminum and Vinyl

United Architectural Control and Standards Committee Regular Open Meeting February 15, 2024 Page 2 of 2

- b. Enact Standard 39: Balcony Enclosures
- 11. Items for Future Agendas
 - a. Revision to Standard 22: Patio Slab
 - b. Revision to Standard 11: Doors; Exterior
- 12. Concluding Business
 - a. Committee Member Comments
 - b. Date of Next Meeting Thursday, March 21, 2024 at 9:30 a.m.
 - c. Adjournment

*A quorum of the United Board or more may also be present at the meeting.

Anthony Liberatore, Chair Alan Grimshaw, Staff Officer Telephone: 949-597-4616



OPEN MEETING

REPORT OF THE REGULAR OPEN MEETING OF THE UNITED LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE*

Thursday, January 18, 2024 – 9:30 a.m.
Laguna Woods Village Board Room/Virtual Meeting
24351 El Toro Road, Laguna Woods, California

REPORT

MEMBERS PRESENT:

Anthony Liberatore - Chair, Ellen Leonard, Sue

Quam

STAFF PRESENT:

Bart Mejia – Maintenance & Construction, Laurie Chavarria – Sr. Management Analyst, Alan Grimshaw – Manor Alterations Manager, Gavin Fogg – Manor Alterations Supervisor, David Rudge – Manor Alterations Inspector II, Josh Monroy – Manor Alterations Coordinator

Call Meeting to Order

The committee took a short recess.

Chair Liberatore called the meeting to order at 9:35 a.m.

2. Acknowledgement of Media

The meeting was being broadcast on Granicus and Zoom. No media was present.

Approval of the Agenda

The agenda was amended. The title for item 10a. was revised to Revision to Standard 20: Balcony and Patio Covers. The title for item 10b. was revised to Enact Standard 39: Balcony

United Architectural Control and Standards Committee Report of the Regular Open Meeting January 18, 2024 Page 2 of 3

Patio Enclosures. The following item was added to the agenda 11b. Revision to Standard 11: Doors; Exterior. Hearing no objection, the agenda was approved as amended.

4. Approval of the Meeting Report for December 21, 2023

Hearing no objection, the meeting report was approved by consent.

Chair's Remarks

None.

6. Member Comments - (Items Not on the Agenda)

None.

Division Manager Update

None.

8. Consent

Consent: All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Hearing no objection, the Monthly Mutual Consent Calendar was approved unanimously.

a. Mr. Grimshaw discussed the number of mutual consents issued and completed over a fivemonth period.

9. Variance Requests

None.

10. Items for Discussion and Consideration

a. Revision to Architectural Standard 20: Balcony and Patio Covers

The committee had questions regarding section 4.2's prohibition on patio covers over atriums that serve as a means of egress from a 'sleeping room'. They requested that staff provide them with the code requirements related to exiting into an open space.

United Architectural Control and Standards Committee Report of the Regular Open Meeting January 18, 2024 Page 3 of 3

A motion was made to refer the standard back to staff for further consideration. Hearing no objection, the motion was approved by unanimous consent.

b. Enact Standard 39: Balcony Patio Enclosures

Mr. Grimshaw provided a brief overview of the proposed standard and how it complements Standard 20. Discussion ensued regarding its applicability, types of materials and regulatory requirements.

A motion was made to refer the standard back to staff for further consideration. Hearing no objection, the motion was approved by unanimous consent.

Mr. Mejia joined the dais at 10:04 a.m.

c. Revision to Resale Inspection Fees

Mr. Mejia informed the committee that the last time the resale inspection fees were updated was fifteen years ago. The chargeable rates have since changed as has the scope of work.

A motion was made to recommend the United Board approve the revision to the resale inspection fees. Hearing no objection, the motion was approved by unanimous consent.

11. Items for Future Agendas

- a. Revision to Standard 20: Balcony and Patio Covers
- b. Enact Standard 39: Balcony and Patio Enclosures
- c. Revision to Standard 22: Patio Slab
- d. Revision to Standard 11: Doors; Exterior

12. Committee Member Comments

- Director Leonard requested diagrams for all standards going forward to assist with understanding the material.
- 13. Date of Next Meeting: February 15, 2024 at 9:30 a.m.

14. Adjournment

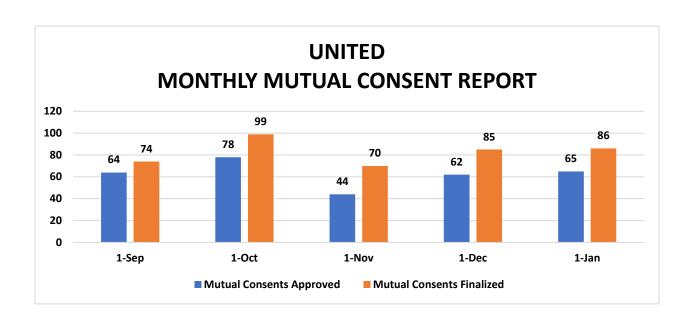
The meeting was adjourned at 10:12 a.m.

Anthony Liberatore, Chair

Anthony Liberatore, Chair Alan Grimshaw, Manor Alterations Manager Telephone: 949-597-4616









United ACSC - Thursday, February 15, 2024 Variance Requests

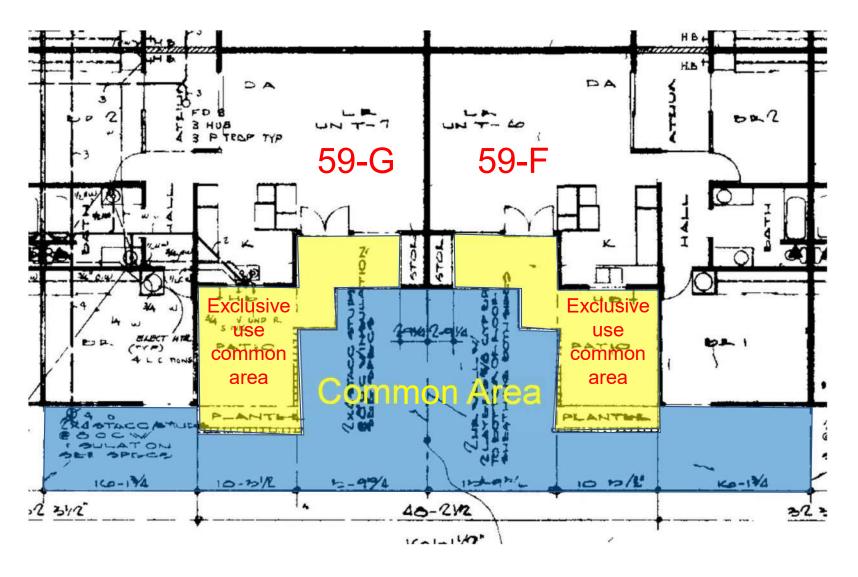
Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
⋖	59-6	Install a wrought iron fence and	GENERAL NOTES:
		gate at entry	Sa-G is one of eight-manor building. Variance is to install a wrought iron fence and gate at entry
			 The fence will enclose common area and require maintenance to
			enter the gate.
			Staff Recommendation: Deny – Fence location does not meet standard
В	372-D	Install 4 new windows (2'x2') in	 372-D is one of a four-manor building.
		Master Bedroom, one window	 Variance is to Install 4 new windows (2'x2') in Master Bedroom, one
		(4'x1') in shower, and tongue and	window (4'x1') in shower, and tongue and groove wood ceiling with
		groove wood ceiling with can lights	can lights at entry
		at entry	
			Staff Recommendation: Approve
C	301-A	Extend living room into patio area	 301-A is one of a four-manor building.
		5'-11"x 17'-3"	 Variance to extend living room into patio area 5'-11"x 17'-3".
			 Add a door to the living room extension that opens into the garden
			area with a landing of interlocking pavers.
			Staff Recommendation: Approve

The following attachments are included for your review and reference. Should any of these requests be recommended for approval, the final version of these documents will become the attachments to the United Laguna Woods Mutual Board staff report: *

- 1. Variance Request Form
- 2. Photos
- 3. Location Map
 - 4. Plan(s)5. Draft Col6. Draft Res
- 5. Draft Conditions of Approval
- 6. Draft Resolution

Their March March	ATTACHMENT 1 VARIANCE REQUEST FORM MANOR #_ 596_ ULWM
Varia	ance Request Form sa
Model: ORANADA PI	an: Date: 1-8-2024
Member Name:	Signature /
Contractor Name/Co: FERRO Ron , Inc.	Phone: E-mail: FERROTRONING GMAIL.COM
Mailing Address: (to be used for official correspondence)	
Description of Proposed Variance Re	
erched top gate to.	al fencing 60 inches tall with enclose courtyard area
Dimensions of Proposed Variance Al	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	ECEIVED: 1/10/23 _ Check#BY: MonaGustafsin
Alteration Variance Request	Complete Submittal Cut Off Date:
Check Items Received: Drawing of Existing Floor Plan Drawing of Proposed Variance Dimensions of Proposed Variance Before and After Pictures Other:	Meetings Scheduled: Third AC&S Committee (TACSC): United AC&S Committee: Board Meeting: Denied
	□ Tabled □ Other

Exclusive and Common Area at 59-F and 59-G



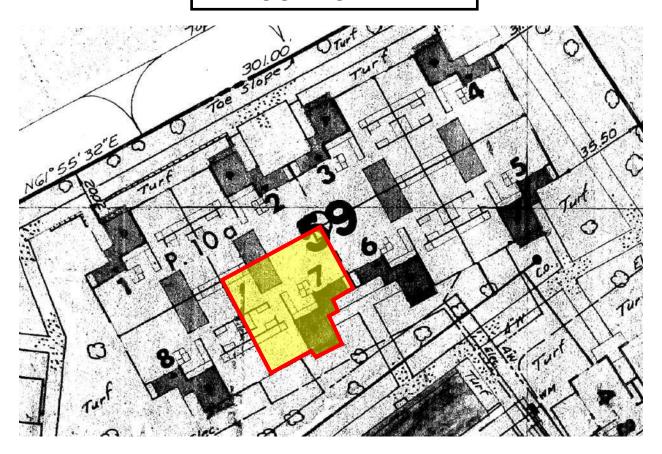
59-G Fence and Gate



ATTACHMENT 3 AERIAL



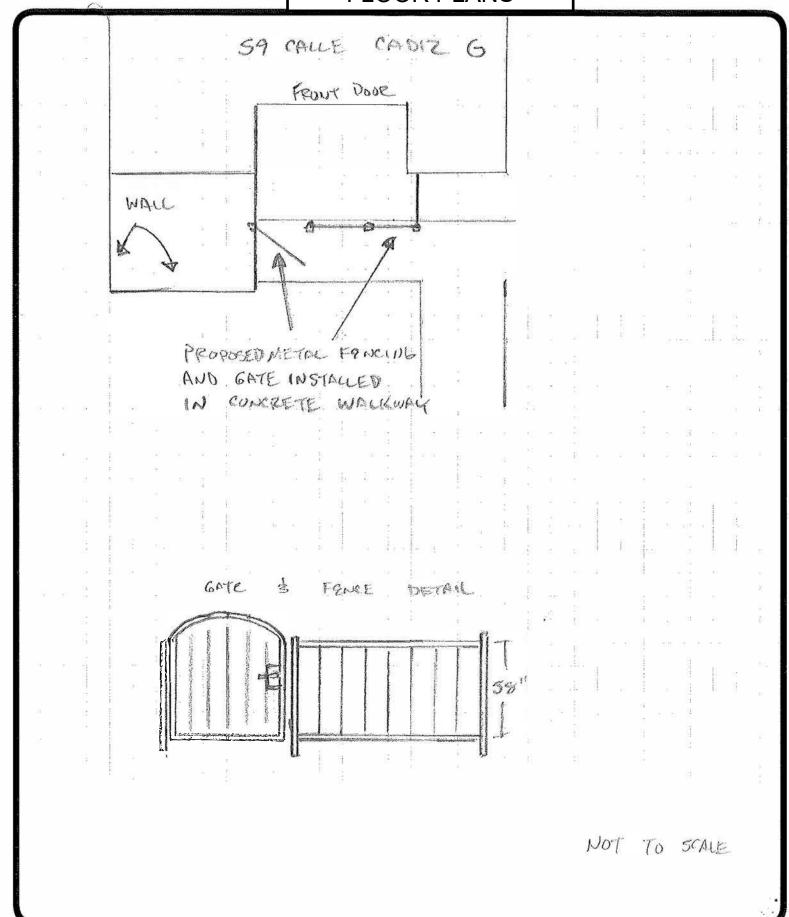
ATTACHMENT 3 LOCATION MAP



FERRO IRON INC.

ATTACHMENT 4 FLOOR PLANS

Date:



ATTACHMENT 5 DRAFT CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

Manor: 59-G

Variance Description: Install a wrought iron fence and gate at entry

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the fence, posts, and gate to be installed shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 59 Calle Cadiz Unit G, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 59 Calle Cadiz Unit G and all future Mutual Members at 59 Calle Cadiz Unit G.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the approprite Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must

- be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.21. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 59 Calle Cadiz Unit G, a Granada style manor, requests the Architectural Control and Standards Committee approval of a variance to install a wrought iron fence and gate at entry; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to install a wrought iron fence and gate at entry;

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to install a wrought iron fence and gate at entry; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 59 Calle Cadiz Unit G and all future mutual members at 59 Calle Cadiz Unit G; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



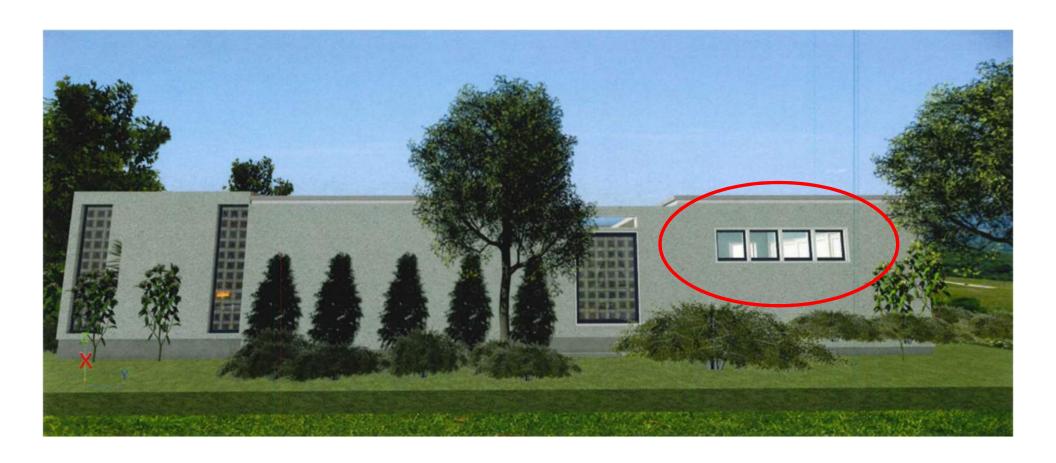
Laguna Woods Village.

ATTACHMENT 1 VARIANCE REQUEST FORM

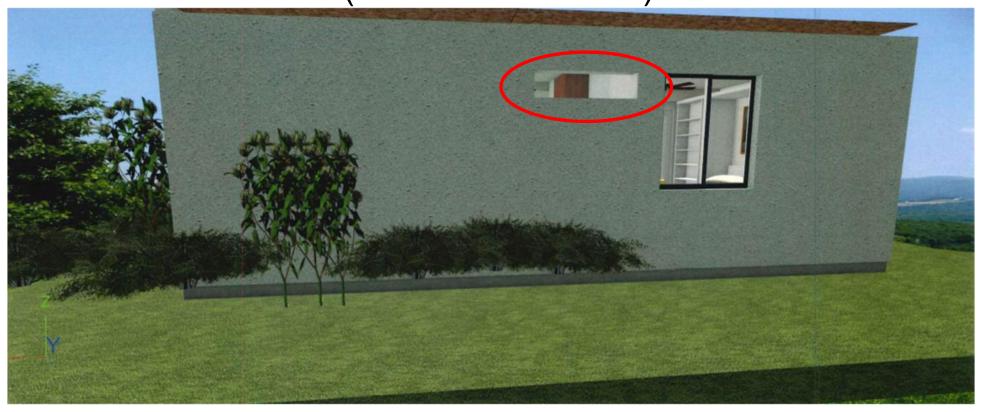
MANOR # 372-D
ULWM TLHM

Varian	ce Request Form SA			
Model: Ovdo DA Plan:	Date: 11-13-23			
Member Nar	Signature			
Phone:	E-mail:			
Contractor Name/Co: SDB Euter Ducises Luc 9496330789 Email: House Burghardt Owner Mailing Address: (to be used for official correspondence)				
Description of Proposed Variance Reque	est ONLY;			
N 4 NCW ZXZ WINDOWS IN MASTER BROWLE X 1 1'X4' frosted Window above Shower X 1"x6" Town + groove on Entrance walkware With Z Led CAN highte + 1 Entrance (194)				
Dimensions of Proposed Variance Altera	ations ONLY:			
FC	R OFFICE USE ONLY			
RECEIVED BY:DATE REC	EIVED:BY:			
Alteration Variance Request	Complete Submittal Cut Off Date:			
Check Items Received: □ Drawing of Existing Floor Plan □ Drawing of Proposed Variance □ Dimensions of Proposed Variance □ Before and After Pictures	Meetings Scheduled: Third AC&S Committee (TACSC): United M&C Committee: Board Meeting:			
- Other:	□ Denied □ Approved □ Tabled □ Other			

372-D 4 New 2'x2' Windows in Master Bedroom



372-D New 4'x1' Window in Shower (View from Outside)



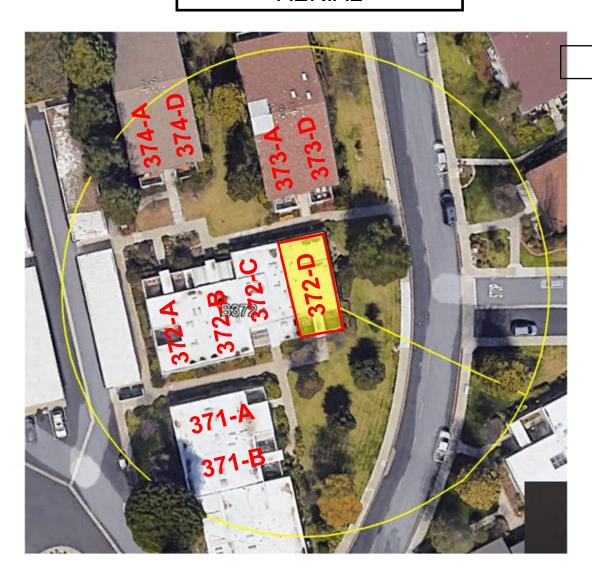
372-D 4'x1' Window in Shower (View From Inside)



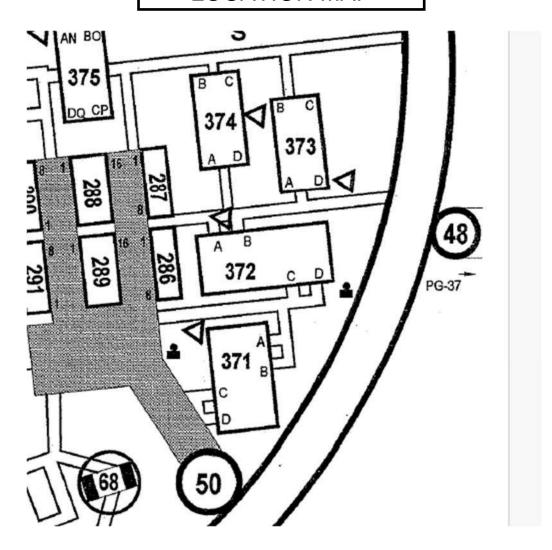
372-D Tongue and Groove Ceiling with Can Lights at Entry



ATTACHMENT 3 AERIAL



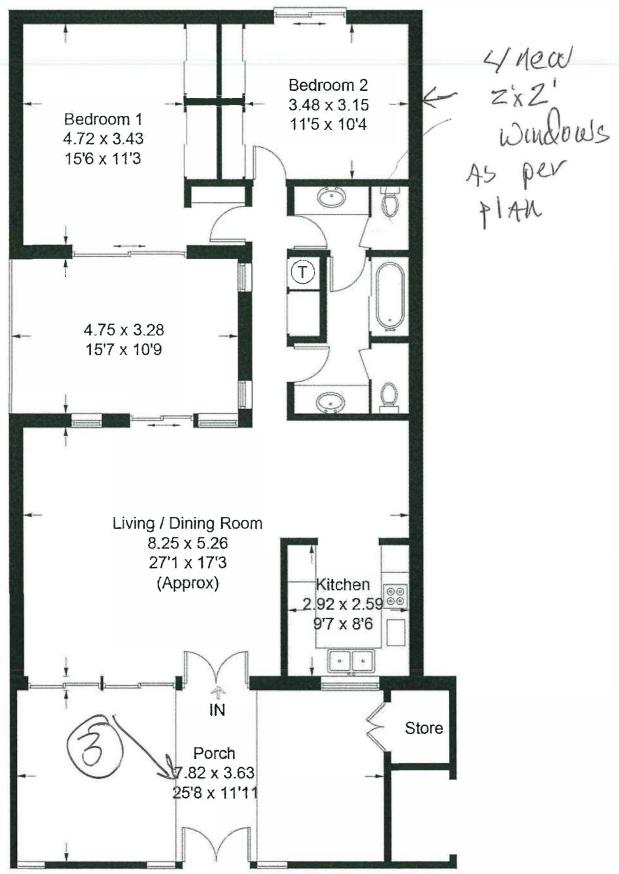
ATTACHMENT 3 LOCATION MAP

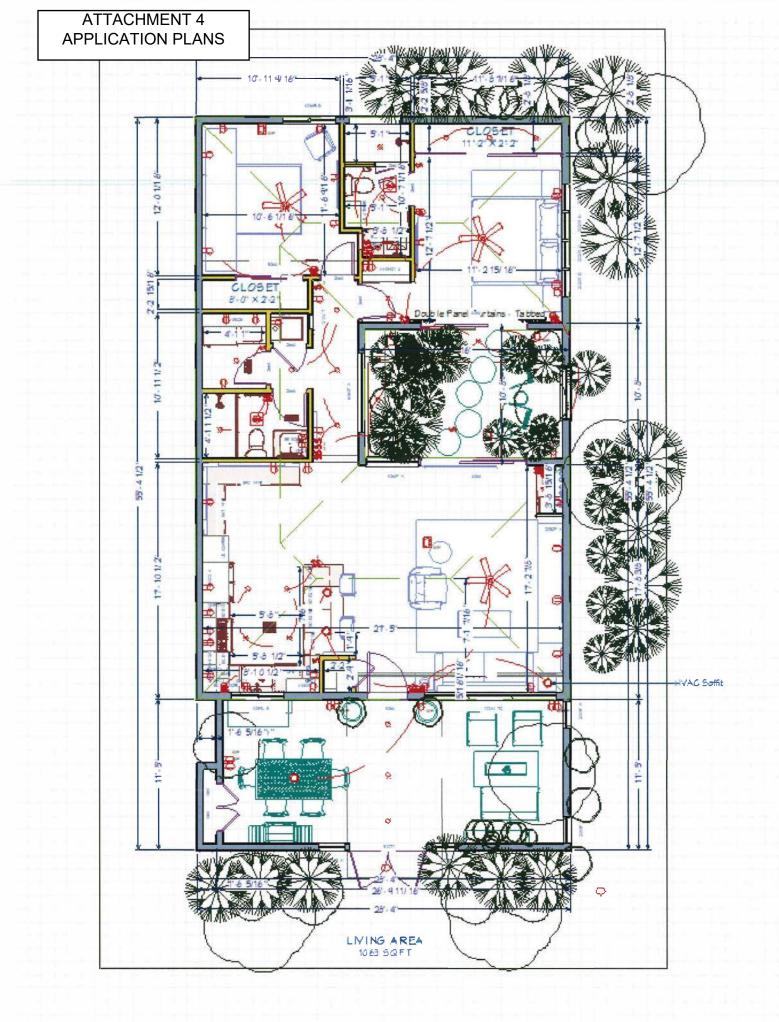


ATTACHMENT 4 FLOOR PLANS

Cordoba new l'x4 Coot above new Shower

Approximate Gross Internal Area = 103.1 sq m / 1110 sq ft





ATTACHMENT 5 DRAFT CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

<u>Manor:</u> 372-D

Variance Description: New windows - 4-2'x2' Master Bedroom, 1-4'x1' Shower and

Tongue and groove wood ceiling with can lights at entry

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the fence, posts, and gate to be installed shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at 372 Avenida Castilla Unit D, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 372 Avenida Castilla Unit D and all future Mutual Members at 372 Avenida Castilla Unit D.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the approprite Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an

application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum

of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- **G.21.** Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6
DRAFT RESOLUTION



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 372 Avenida Castilla Unit D, a Cordoba style manor, requests the Architectural Control and Standards Committee approval of a variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry;

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to install 4 new windows (2'x2') in Master Bedroom, one window (4'x1') in shower, and tongue and groove wood ceiling with can lights at entry; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 372 Avenida Castilla Unit D, and all future mutual members at 372 Avenida Castilla Unit D; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.





Model: Madrid

Member Name:

ATTACHMENT 1 VARIANCE REQUEST FORM

MANOR # <u>301a</u>	
ULWM	□ TLHM

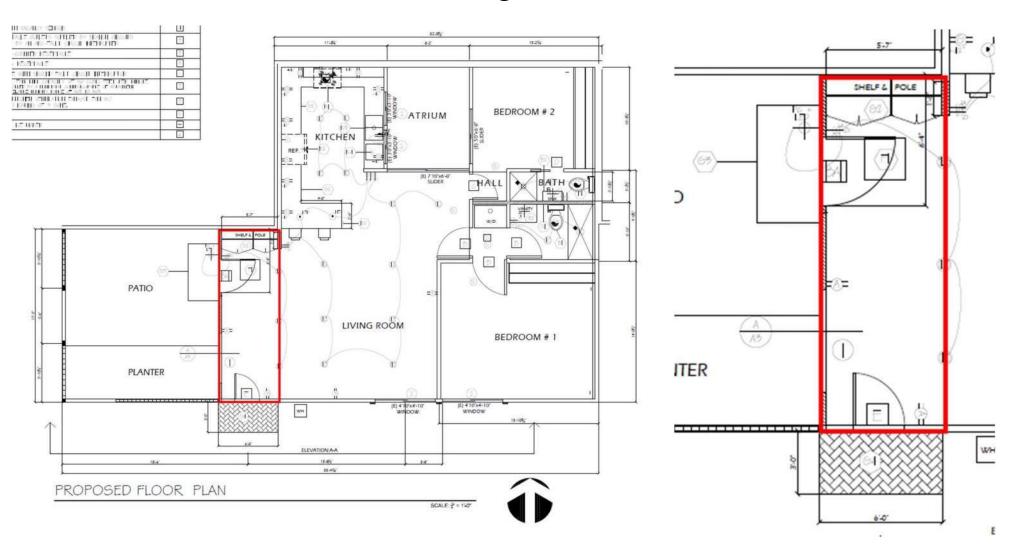
Variance Request Form

iance Request For	m sa
Plan:	Date: 12/1/23
Signature	
E-mail:	
Phone: 1 (503) 341-8049	E-mail: zkaldawi@pmcsgroup.net

Phone:	E-mail:		
Contractor Name/Co: Zak kaldawi. Kalcon	Phone: 1 (503) 341-8049	E-mail: zkaldawi@pmcsgroup.ne	t
Mailing Address: (to be used for official			
correspondence)			
Description of Proposed Variance Req	uest ONLY:		
Move front wall into patio. Add a door to e	exterior facing wall.		
·	J		
Dimensions of Proposed Variance Alte	rations ONLY:		
•		the notic 5' 11"	
Wall being moved is 17'-3"	Its is being moved into	o the patio 5-11	
The door is going to be on the external is currently mareked as a window. But door.	that is incorrect. It sho	ould be a standard 36"x80"	
'	OK OFFICE USE ON	LI	
RECEIVED BY:DATE RE	CEIVED:	Check#BY:	
Alteration Variance Request	Complete Subn	nittal Cut Off Date:	
Check Items Received:	Meetings Schedul	ed:	
□ Drawing of Existing Floor Plan	Third AC&S Commi	ttee (TACSC):	
□ Drawing of Proposed Variance		nittee:	
□ Dimensions of Proposed Variance			
□ Before and After Pictures	Board Meeting:	-	
□ Other:	□ Denied	□ Approved	
	□ Tabled	□ Other	.
1	l	Ager	nda/-lteh% #9

ATTACHMENT 2 PHOTOS

301-A Extend Living Room into Patio area



ATTACHMENT 2 PHOTOS

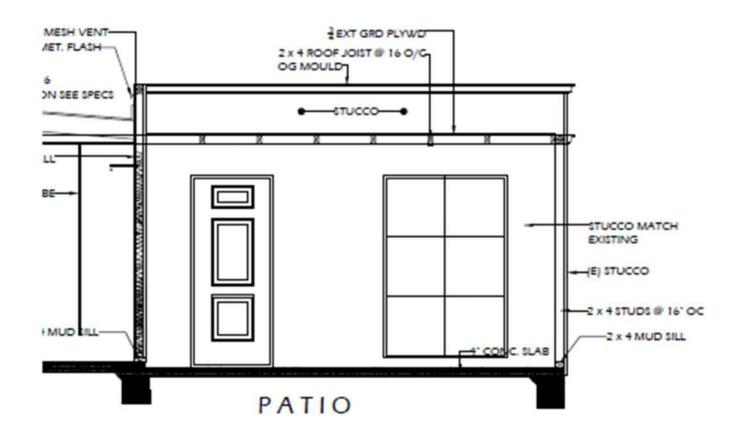
301-A Add Door off Extended Living Room



SIDE FLEVATION (A-A)

ATTACHMENT 2 PHOTOS

301-A Entry

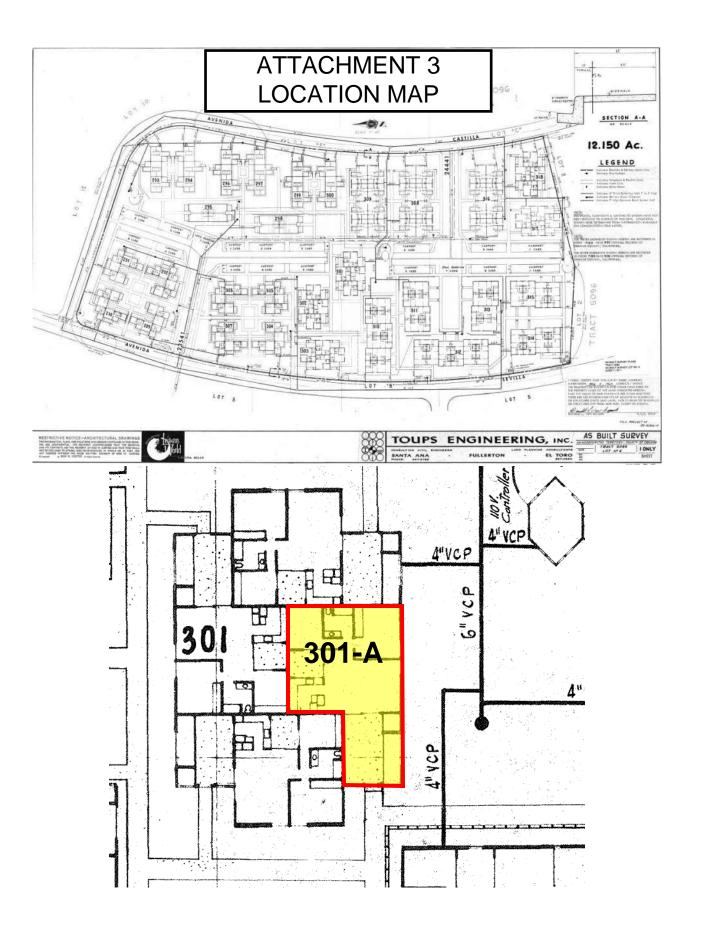


ENTRY ELEVATION

ATTACHMENT 3 AERIAL

301-A Avenida Sevilla





CONSOLE RESIDENCE ADDITION

301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

VICINITY PLAN

Iglesia Park 🚓

ATTACHMENT 4

FLOOR PLANS

SHEET INDEX

- A1 TITLE SHEET .SITE & VICINITY PLANS
- A2 EXISTING AND DEMO FLOOR PLAN
- A3 PROPOSED FLOOR PLAN

T24.1 ENERGY CALCS

T24.2 RESIDENTIAL MANDATORY REQUIREMENTS

S-1 FOUNDATION AND FRAMING PLAN S

S-2 GENERAL NOTES & DETAILS

LEGAL DESCRIPTION

OWNER:ANTHONY CONSOLE T:(541) 292-4582 RESIDENCE LOCATION: 301 AVENIDA SEVILLA #A LAGUNA WOODS, CA. 92637

SCOPE OF WORK

- LIVING ROOM ADDITION 100 S.F. UNDER EXISTING ROOF
- REMODEL EXISTING KITCHEN 106 S.F.

AREA TABULATION

AREA		EXISTING CONSTRUCTION		NEW	EXISTING +
		TO DEMOLISHED	to remain	CONSTRUCTION	NEW
LIVING	1RST FLOOR	0	1000 SF	100 SF	1100 SF
GARAGE	1RST FLOOR	0	NA	0	NA
PATIO	1RST FLOOR	0	257 SF	0	257 SF

GOVERNING CODES

2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA PLUMBING CODE (CPC)

2022 CALIFORNIA FIRE CODE (CFC)

2022 CALIFORNIA ENERGY CODE

ALL WORK SHALL COMPLY WITH ANY LOCAL AMMENDMENTS TO THE CODES LISTED ABOVE

rizkziad@hotmail.com

DESIGNED BY: ENGINEER:

SLIM DESIGN CONSULTING LLC. ZIAD GEORGE RIZK. P.E. 455 S OLIVE ST. 12930 EVERMARY CT. ORANGE, CA. 92866 RANCHO CUCAMONGA, CA. 91739 FSLIM@SLIMDESIGNCONSULTING.COM

310-4671387

- Walgreens Pharmacy na Woods Golf Clul Trader Bean & Tea Leaf Road Runner Sports Try The New Mango Ice Blended My Milk Stone

SITE PLAN N.T.S. ADJACENT UNIT (NO CHANGE) (E) PATIO COVER (E) PATIO COVER **ADJACENT UNIT** (NO CHANGE) AREA OF WORK PROPOSED (E) PATIO COVER ADDITION (E) PATIO COVER **UNDER EXISTING ROOF ADJACENT UNIT** (NO CHANGE)

GENERAL NOTES

N.T.S.

ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED. [CEC 210.8(A)(6)]

RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET. [CEC 210.52(C)(1)]

OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. [CEC 210.52(C)(2)]

APPLIANCE GARAGE OUTLETS ARE NOT COUNTED AS A REQUIRED COUNTERTOP OUTLET. [CEC 210.52(C)(5)]

ARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACKSPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLE. REQUIREMENTS. THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE

-AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL [CEC 210.23(A)]

F USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE

RESIDENTIAL KITCHEN LIGHTING IS REQUIRED TO MEET THE ENERGY EFFICIENCY STANDARDS. [CENC 150(K)(1

CTION IS REQUIRED TO KITCHEN BY ANY OF THE MEANS DESCRIBED IN 210.12(A)(1) - THROUGH (6). [CEC 210.12 (A)].

KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONES @ 100CFM.

KITCHEN LOCAL EXHAUST VENTILATION SHALL TERMINATE A MINIMUM 3FT FROM AN OPENING [CMC 502.2.1]

A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES). A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST. A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1213.3 OF THE

GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT, GAS LINE SHALL BE ENCASED IN AN APPROVED CONDUIT DESIGNED TO WITHSTAND THE IMPOSED LOADS AND INSTALLED IN ACCORDANCE WITH SECT 1210.1.6.1 OR 1210.1.6.2. OR ENCASEMENT SYSTEM THAT IS LISTED FOR INSTALLATION BENEATH BUILDING

AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE [CPC 1210.09]

PROVIDE MAXIMUM 6-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE.

A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN. [CPC 807.3

THE MAXIMUM FLOW RATE STANDARDS FOR THE SINK FAUCETS ARE 1.8 GPM AT 60PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM AT 60PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GPM. [CPC 420.21]

PLUMBING FIXTURE REPLACEMENT

EFFECTIVE JANUARY 1, 2014, SENATE BILL (SB) 407 AND CALIFORNIA CIVIL CODE SECTION 1101.1-1101.8 REQUIRES ALL NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES WHEN BUILDING IS UNDERGOING ALTERATIONS OR IMPROVEMENTS IF THE RESIDENTIAL PROPERTY WAS BUILT AND AVAILABLE FOR USE ON OR BEFORE JANUARY 1, 1994. PLEASE REFER TO "PLUMBING FIXTURE REPLACEMENT (SB407) REQUIREMENTS AND POLICY" TO DETERMINE IF THE PROJECT REQUIRES COMPLIANCE. **SMOKE ALARMS & CARBON MONOXIDE ALARMS:**

KITCHEN RENOVATIONS WILL REQUIRE THE SMOKE AND CARBON MONOXIDE ALARMS FOR THE DWELLING TO MEET THE CURRENT CODE PRIOR TO THE FINAL INSPECTION AS FOLLOWS: [CRC R314 & R315]

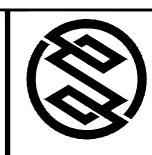
SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING ROOMS, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH FLOOR LEVEL INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS AND SLEEPING UNITS WHEN FUEL-BURNING APPLIANCES ARE INSTALLED, AND/OR DWELLING UNITS HAVE ATTACHED GARAGES. EITHER CONDITION REQUIRES ALARMS WHEN MORE THAN ONE ALARM OF EITHER TYPE IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT. THE ALARM

DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE OTHER IN EXISTING CONDITIONS, ALARMS MAY BE BATTERY OPERATED WHEN THE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE

REMOVAL OF THE WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF AN ATTIC, BASEMENT OR CRAWLSPACE MULTIPURPOSE ALARMS THAT COMBINE BOTH A SMOKE ALARM AND CARBON MONOXIDE ALARM SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF BOTH CRC SECTIONS R314 AND R315 AND BE LISTED BY THE OFFICE OF THE STATE FIRE MARSHAL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND UL2034

SMOKE ALARMS OR SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. [R314.3.1]



ANS BY : FIRAS SLIM

CONSULTING LLC. RESIDENTIAL & COMMERCI,

Agenda Item #9c

07/12/2023



PROJECT

ESIDENCE

Revision Date

By:

Date: 07/12/2023
Scale:

Drawn by: F.SLIM

\ \ (

SHEET NO.

DEMOLITION NOTES

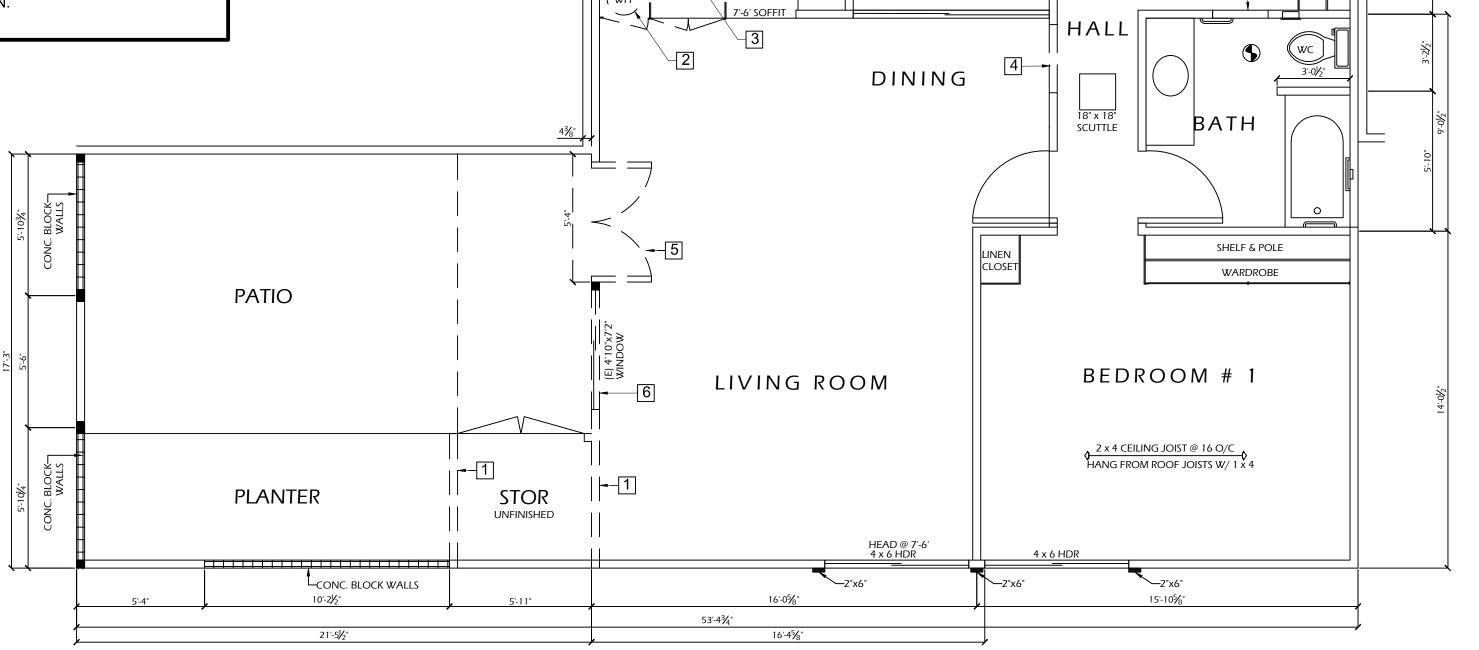
- 1. EXAMINE THE SITE AND THE CONDITIONS PERTAINING THERE TO AND DETERMINE THE EXTENT OF WORK TO BE ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND CAN BE DETERMINED ONLY BY EXAMINATION OF THE PREMISES BY THE GENERAL CONTRACTOR.
- 2. EXAMINE THE DRAWINGS TO ESTABLISH THE EXTENT OF THE STRUCTURE PORTION TO BE DEMOLISHED AND EXTENT OF THE STRUCTURE TO REMAIN.
- 3. CONTRACTOR SHALL VERIFY EXISTING WALL FINISH TO BE REMOVED, AS REQ'D.
- 4. WHEN PATCHING IS REQUIRED MATCH ALL ADJACENT SURFACES.
- 3. CONTRACTOR SHALL VERIFY ALL ELECTRICAL WIRING ALONG DEMO WALLS AND REMOVE OR RELOCATE TO NEW ADDITION, AS REQUIRED. SEE PLANS FOR NEW ELECTRICAL OUTLETS/LIGHTING LOCATION.
- 4. REMOVE OR CAP OFF EXISTING ELECTRICAL LINES,WHERE REQ'D.
- 5. CONTRACTOR TO COORDINATE WITH FOUNDATION PLAN FOR NEW PAD & NEW FOOTING LOCATION
- 6. REMOVE/CAP OFF OR RELOCATE ANY UTILITY LINES, WHERE REQ'D.
- 7. CONTRACTOR SHALL PARTIALLY REMOVE ROOF, AS REQUIRED TO INSTALL NEW ROOF TIE-IN.

KEYNOTES

- 1 EXISTING EXTERIOR WALL / FINISH TO BE DEMOLISHED
- 2 RELOCATE WATER HEATER TO EXTERIOR
- 3 KITCHEN CABINETS TO BE REMOVED
- 4 DEMO INTERIOR NON BEARING WALL FOR NEW DOOR
- 5 DEMO AND RELOCATE MAIN ENTRY DOOR6 RELOCATE WINDOW TO NEW EXTERIOR WALL

FLOOR PLAN LEGEND

(E) WALL CONSTRUCTION
(E) WALL TO BE REMOVED



KITCHEN

–2 x 4 STUDS @ 8" O/C STAGG W/ INSULATION

ATRIUM

4" CONCRETE SLAB

O DRAIN

EXISTING & DEMO FLOOR PLAN



SEE SHT X-11 DET 1 TO 4 FOR MORE— INFORMATION ON THIS WALL

BEDROOM # 2



- PROVIDE APPROVED SMOKE ALARMS (UL 217) IN EACH BEDROOM SEE SMOKE ALARMS NOTE
- PROVIDE AN APPROVED CARBON MONOXIDE (UL 2034/2075) SEE CARBON MONOXIDE ALARM NOTE
- 2 a. ALL LIGHTS MUST BE HIGH EFFICACY AND RECESSED LIGHTS MUST BE IC RATED WHEN UNDER INSULATION b. SURFACE MOUNTED LIGHTING FIXTURES IN CLOSETS MUST BE 18"

FROM STORAGE AREA /S. FLUSH MOUNTED MUST BE 6" AWAY.

- 3 a. BATHROOM RECEPTACLES SHALL BE ON A 20 AMP CIRCUIT, WITH NO OTHER OUTLETS ALLOWED. IT MAY SERVE MORE THAN ONE
- b. PROVIDE A MIN. OF 2-20 AMP SMALL APPLIANCE CIRCUITS FOR THE KITCHEN COUNTER TOPS. SUCH CIRCUIT SHALL HAVE NO OTHER CIRCUITS. LOADS SHALL BE BALANCED.
- C. PROVIDE A MIN. ONE 20-AMP LAUNDRY BRANCH CIRCUIT. THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- d. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15 & 20 AMP. RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY, DINING, LIVING, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLS, OR OTHER SIMILAR ROOMS AND AREAS PER CEC SECTION 2/0/12 SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER/S.
- e. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES (IN DWELLING UNITS) SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL SWITCHES AT +42" A.F.F. UNLESS NOTED OTHERWISE
- GAS VALVE MUST BE LOCATED OUSIDE OF THE REQUIRED HEARTH AREA, BUT NOT MORE THEN 6 FT UNLESS LISTED FOR INSTALLATION IN THE FIREPLACE
- HOSE BIBS TO HAVE A NON-REMOVABLE BACK-FLOW PREVENTER OR WITH A LISTED ATMOSPHERIC VACUUM BREAKER. HOSE BIBS MUST BE PROTECTED BY ANTI SIPHON DEVICE
- CONTINUOUSLY OPERATING WHOLE-BUILDING EXHAUST FAN TO HAVE A MAXIMUM 1.0 SONE RATING
- TITLE 24 REQUIREMENT:
 - HIGH 'EFFICACY LUMINARIES MUST BE PIN BASED. - HIGH EFFICACY LIGHTS TO PROVIDE: 40 LUMENS/WATT AT 15 WATTS OR LESS 50 LUMENS/WATT AT 15 - 40 WATTS 60 KUMNES/ WATT AT OVER 40 WATTS - RECESSED LUMINARIES INSTALLED IN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARENCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND/OR GASKETED BETWEEN CEILING AND HOUSING.
 - SHALL MEET THE MINIMUM EFFICACY REQUIREMENTS IN TABLE 150.0-B (EXPLAINED IN SECTIONS 6.3.2 AND 6.3.3 OF THIS CHAPTER). THE LED LIGHTING SYSTEM SHALL BE TESTED BY AN INDEPENDENT TESTING LAB, ACCORDING TO IES LM-79-08. * NOTE: LED LIGHTING WHICH HAS NOT BEEN CERTIFIED TO THE ENERGY COMMISSION AS HIGH EFFICACY IS CONSIDERED
- TERMINATION OF ALL ENVIROMENTAL AIR DUCTS (E.G. DRYERS. BATH FANS, DOMESTIC RANGE VENTS, ETC.) SHALL BE AT LEAST 3 FEET FROM OPENINGS INTO THE BUILDING.

SMOKE AND CARBON MONOXIDE ALARMS

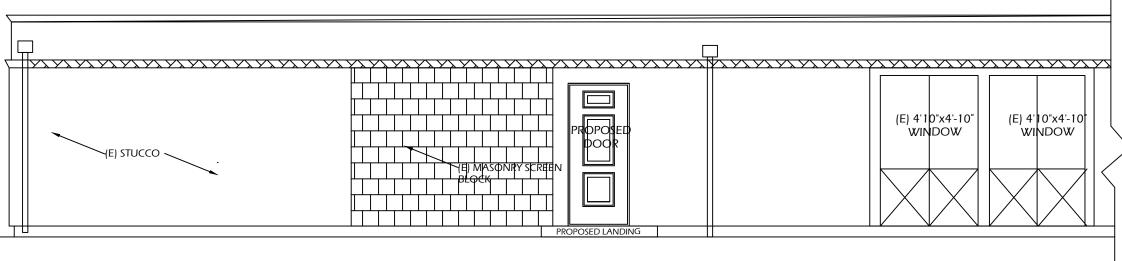
PROVIDE APPROVED SMOKE ALARMS (UL 217) PER SECTION R314 OF THE 2019 CRC:

- I.I IN ALTERATIONS, REPAIRS AND ADDITIONS SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL. SMOKE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. (CRC R3|4.3.|)
- 1.2 SMOKE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND AT EACH ADDITIONAL FLOOR OR BASEMENT LEVEL (CRC R3|4.3)
- 1.3 IN NEW BUILDINGS, SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED. (CRC R3|4.4 & R3|4.5).

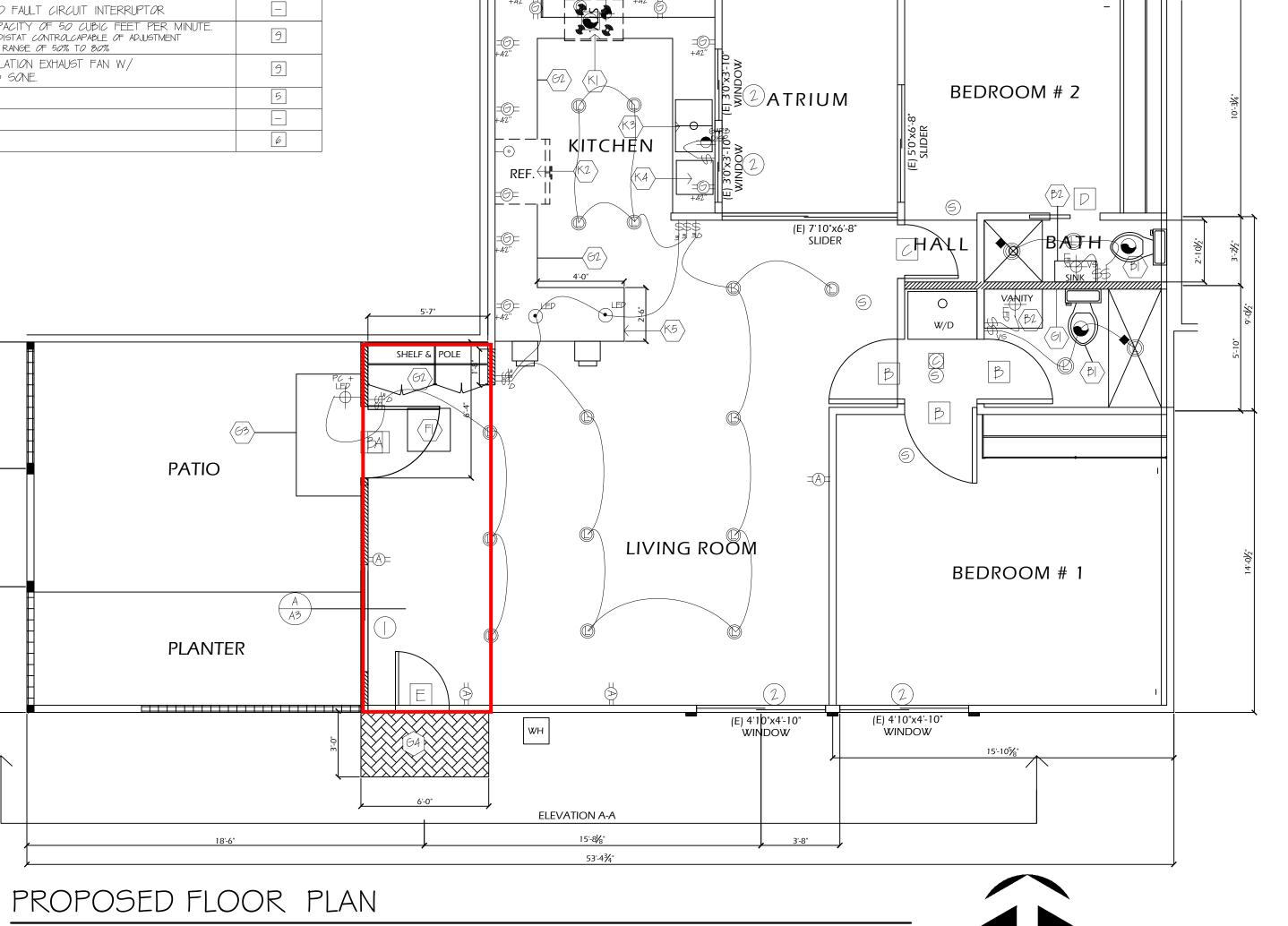
PROVIDE CARBON MONOXIDE ALARMS (UL 2034/ 2075):

- II IN ALTERATIONS, REPAIRS AND ADDITIONS OF EXISTING DWELLINGS EXCEEDING \$1000.00 CARBON MONOXIDE ALARMS ARE REQUIRED IN THE SPECIFIC PERMITTED DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES. THE CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED AND NOT INTERCONNECTED. (CRC R3|4.3.|)
- 1.2 CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ALL NEW CONSTRUCTION LOCATED IN EACH SLEEPING ROOM. CONTAINING A FUEL-BURNING APPLIANCE AND IN DWELLING UNITS THAT HAVE AN ATTACHED GARAGE. (CRC R3/5)
- 1.3 IN NEW BUILDINGS, CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED. (CRC R3|5.|.1 & R3|5.|.2).

UTILITY LEGEND SYMB. FOOT NOTE ELECTRICAL PANEL PER PLAN (S) | 110 V W/ BATTERY BACK-UP SMOKE ALARM C CARBON MONOXIDE ALARM RECESS LIGHT-EMITTING DIODE LIGHT (LED) HO WALL MOUNTED LIGHT LED LIGHT-EMITTING DIODE LIGHT 8 UNDER UPPER CABINET LED TUBE LIGHT FIXTURES MARKED: "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" I-WAY SWITCH 4 3-WAY SWITCH 4 SWITCH DIMMER 4 SWITCH WITH VACANCY SENSOR 110 V RECEPTACLE OUTLETS SUPPLIED BY BRANCH CIRCUITS PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER UNDER-THE-COUNTER RECEPTACLE HOT IIOV RECEPTACLE RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTOR MECHANICAL FAN. MIN. CAPACITY OF 50 CUBIC FEET PER MINUTE. O BE CONTROLLED BY A HUMIDISTAT CONTROLCAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80% 300 CFM KITCHEN VENTILATION EXHAUST FAN W/ MAX. SOUND RATING OF 3 SONE. ⊢� | FUEL GAS PLUMB FOR ICE MAKER HOSE BIB 6



SIDE ELEVATION (A-A)



K| 48" RANGE/OVEN SPACE W/ MICROWAVE OVEN /HOOD & LIGHT ABOVE.

K2 36" BUILT-IN REFRI SPACE. PROVIDE IIOV OUTLET AND WATER OUTLET

K3 SINK W/ GARBAGE DISPOSAL. KITCHEN FAUCET TO BE 1.8 GPM MAX

DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK

K5 +36" HIGH ISLAND W/ CABINETS AND COUNTER TOP FINISH PER OWNER

CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER.

K4 UNDERCOUNTER DISHWASHER W/IIOV OUTLET. PROVIDE

VENT THRU WALL.

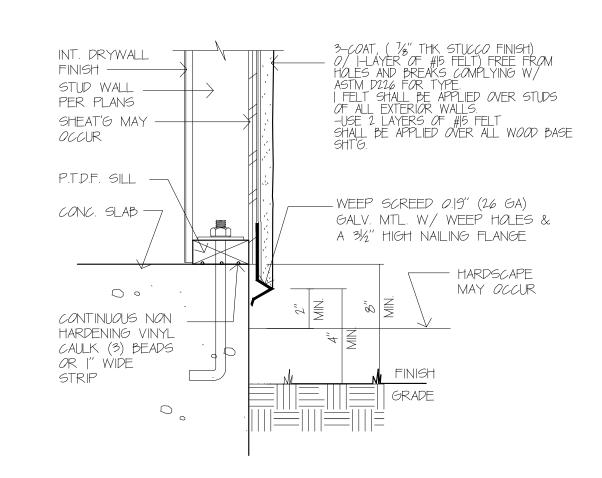
@ 60 PSI.

11'-31/4"

*WINDOW SCHEDULE FRAME | OPERATION | U-FACTOR | SHGC | REMARKS | QTY WIDTH X HEIGHT DUAL PANE TEMPERED 5'0" x 7'0" VINYL FIXED 030 0.23 EXISTING

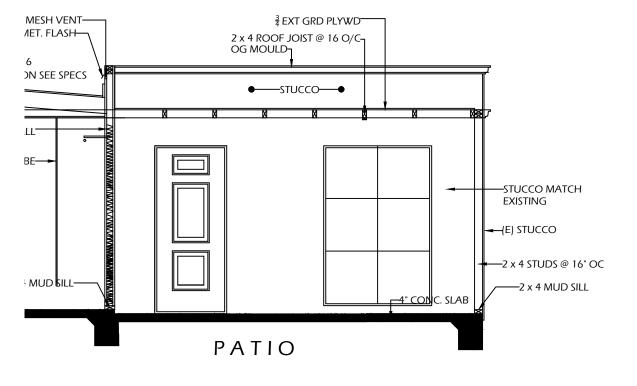
*DOOR SCHEDULE							
	SIZE WIDTH × HEIGHT	FRAME	OPERATION.	U-FACT <i>O</i> R MAX.	SHGC MAX.	REMARKS	QTY
А	3'0" × 6'8"	SOLID CORE	HINGED	NA	NA	EXT. DOOR W/ WEATHER STRIPPING	0
B	2'4" × 6'8"	HOLLOW CORE	HINGED	NA	NA	INT. DOOR EXISTING	03
C	2'6" × 6'8"	HOLLOW CORE	HINGED	NA	NA	INT. DOOR	0
D	2'4" × 6'8"	HOLLOW CORE	POCKET SLIDER	NA	NA	INT. <i>D00</i> R	0
E	2'6" × 6'8"	SOLID CORE	HINGED	NA	NA	EXT. DOOR W/ WEATHER STRIPPING	0

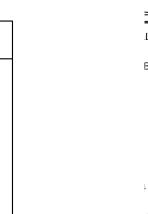
- ALL NEW WINDOWS TO BE DUAL PANE FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS ALL WINDOWS AND DOORS WITH GLAZING SHALL HAVE A LABEL
- INDICATING THE U-FACTOR AND SHGC 4. EVERY BEDROOM SHALL HAVE A OPERABLE ESCAPE WINDOW WITH A MIN. OPENABLE AREA OF 5.7 sq ft (5.0 AT GROUND LEVEL) AND A MIN. CLEAR HEIGHT OF 24 INCH AND WIDTH OF 20 INCH. THE BOTTOM OF THE CLEAR OPENING TO BE NOT OVER 44 INCHES MEASURED FROM
- * WINDOW AND DOOR REPLACEMENT NOTE: -CONTRACTOR TO VERIFY WINDOW SIZES PRIOR TO ORDERING WINDOWS AND DOORS TO BE REAPLOED. -VERIFY THAT ALL REPLACEMENT WINDOWS MEET CURRENT CODES



(A) STUCCO SCREED

_ STUCCO WALL FINISH TO MATCH EXISTING: PORTLAND CEMENT PLASTER (1/2" THICK 3-COAT STUCCO 0/ MIN. I-LAYER OF 60-MINUTE GRADE 'D' BUILDING PAPER) USE 2- LAYERS OF BLD'G PAPER O/ PLYWOOD.





NEW WALLS

EX. WALLS

TO REMAIN

DEMO WALLS

WALL LEGEND

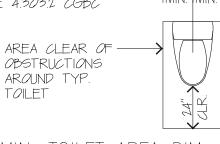
ENTRY ELEVATION

FLOOR PLAN KEY NOTES

- 6| 2×6 PLUMBING WALL/ FAT WALL
- 62 NEW CABINET PER OWNER
- 63 CONCRETE LANDING. MAX. I" BELOW THRESHOLD MAX.
- 63 INTERLOCKING PAVER LANDING. MAX. I" BELOW THRESHOLD MAX.

TOILET

BI TOILET. 1.28 GPF MAX. TABLE 4.303.2 CGBC



- FI 24" SQ. SKYLIGHT
- MIN. TOILET AREA DIM. B2 LAVATORY SINK. 1.2 GPM. SEE TABLE 4.303.2 CGBC

Agenda Item #9c

SLIM DESIGN

CONSULTING LLC.

RESIDENTIAL & COMMERCIA

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PLANS BY: FIRAS SLIM

STAMP

PROJECT

rawn by: F.SLIM

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CA Building Energy Efficiency Standards - 2022 Residential Compliance

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2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach

Building Envelo	pe:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CSA 101/I.S.2/A440-2011. *
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.*
§ 110.7:	Air Leakage . All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Roof Deck, Ceiling and Rafter Roof Insulation. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceiling; or area-weighted average U-factor must not exceed 0.043. Rafter roof alterations minimum R-19 or area-weighted average U-factor of 0.054 or less. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling. *
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation . Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.103 Masonry walls must meet Tables 150.1-A or B. *
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor. *
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to §150.0(d).
§ 150.0(g)2:	Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.45; or area-weighted average U-factor of all fenestration must not exceed 0.45.
ireplaces, Dec	orative Gas Appliances, and Gas Log:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.
8 150 0(a)3·	Flue Perman Macanay or factory built from local must have a flue demonstration according control *

§ 150.0(e)3: Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control. *

§ 110.0-§ 110.3: regulated appliances must be certified by the manufacturer to the California Energy Commission.

Space Conditioning, Water Heating, and Plumbing System:

setback thermostat.

surface heat loss rating.

	2022 Single-Family Residential Mandatory Requirements Summary
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool ar spa heaters. *
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.
§ 150.0(h)3A:	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)3B:	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(j)1:	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in § 609.11 of the California Plumbing Code. *
§ 150.0(j)2:	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment' maintenance, and wind as required by §120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)1:	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must designate a space at least 2.5' x 2.5' x 7' suitable for the future installation of a heat pump water heater, and meet electrical and plumbing requirements, based on the distance between this designated space and the water heater location; and a condensate drain no more than 2" higher than the base of the water heater
§ 150.0(n)3:	Solar Water-heating Systems . Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the executive director.
Ducts and Fans:	
§ 110.8(d)3:	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
	CMC Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to R-6.0 or higher; ducts located entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8) do not require insulation. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tane, or other duct closure system that meets the applicable LII requirements or agreed scalant that meets LII. 723

.0(m)1:	sealed with mastic, tape, or other duct-closure system that meets the applicable UL requirements, or aerosol sealant that meets UL 723. The combination of mastic and either mesh or tape must be used to seal openings greater than ¼", If mastic or tape is used. Building
	cavities, air handler support platforms, and plenums designed or constructed with materials other than sealed sheet metal, duct board or
	flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts; ducts installed in
	these spaces must not be compressed. *
	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction,
.0(m)2:	connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive
	duct tapes unless such tape is used in combination with mastic and draw bands.
	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes,

	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tap
§ 150.0(m)3:	mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)7:	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic
3 10010(111)11	dampers.
	Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible
§ 150.0(m)8:	manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
	Protection of Insulation. Insulation must be protected from damage due tosunlight, moisture, equipment maintenance, and wind.
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150.0(m)9:	Insulation exposed to weather must be suitable for outdoor service (e.g., protected by aluminum, sheet metal, painted canvas, or plastic	
	cover). Cellular foam insulation must be protected as above or painted with a water retardant and solar radiation-resistant coating.	
150.0(m)10:	Porous Inner Core Flex Duct. Porous inner cores of flex ducts must have a non-porous layer or air barrier between the inner core and outer vapor barrier.	
150.0(m)11:	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in	

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 § 150.0(m)12: or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Clean-filter pressure drop and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service. Filter racks or grilles must use gaskets, sealing, or other means to close gaps around the inserted filters to and prevents air from bypassing the

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2022 Single-Family Residential Mandatory Requirements Summary

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must § 150.0(m)13: be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

Ventilation and Indoor Air Quality:

§ 150.0(o)1:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1. *
§ 150.0(o)1B:	Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed on the ventilation duct(s) that prevents all airflow through the space conditioning duct system when the damper(s) is closed and controlled per §150.0(o)1Biii&iv. CFI ventilation systems must have controls that track outdoor air ventilation run time, and either open or close the motorized damper(s) for compliance with §150.0(o)1C.
§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses. Single-family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; nonenclosed kitchens must have demand-controlled exhaust system meeting requirements of §150.0(o)1Giii,enclosed kitchens and bathrooms can use demand-controlled or continuous exhaust meeting §150.0(o)1Giii-iv. Airflow must be measured by the installer per §150.0(o)1Gv, and rated for sound per §150.0(o)1Gvi. *
§ 150.0(o)1H&I:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The airflow required per § 150.0(o)1C must be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet or outlet terminals/grilles per Reference Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per ASHRAE 62.2 §7.2 at no less than the minimum airflow rate required by §150.0(o)1C.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range hood airflow and sound rating, and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7. Vented range hoods must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or AHAM to comply with the airflow rates and sound requirements per §150.0(o)1G

ol and Spa Syst	tems and Equipment:
110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAEDbS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating. *
110.4(b)1:	Piping . Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves. *

	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable	
§ 110.9:	requirements of § 110.9. *	
§ 150.0(k)1A:	Luminaire Efficacy . All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting internal to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.	
150.0(k)1B:	1B: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *	
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must not contain screw based sockets, must be airtight,	

and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be met. Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires. Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device shall be no more than the number of bedrooms. These boxes must be served by a dimmer, vacancy sensor

control, low voltage wiring, or fan speed control.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).

§ 110.2(c):

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2022 Single-Family Residential Mandatory Requirements Summary

Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone;

and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and

Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a

Insulation. Unfired service water heater storage tanks and solar water-heating backup tanks must have adequate insulation, or tank

Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-N. *

the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. *

§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8. *	
§ 150.0(k)1H:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the J.	
§ 150.0(k)1I:	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not require to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet linen closet is closed.	
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.	
§ 150.0(k)2B: Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.*		
§ 150.0(k)2A:	Accessible Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned on and off. *	
§ 150.0(k)2B:	Multiple Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the dimmer or sensor is instato comply with § 150.0(k).	
§ 150.0(k)2C:	Mandatory Requirements. Lighting controls must comply with the applicable requirements of § 110.9.	
§ 150.0(k)2D:	Energy Management Control Systems. An energy management control system (EMCS) may be used to comply with dimming, occupancy, and control requirements if it provides the functionality of the specified control per § 110.9 and the physical controls specifin § 150.0(k)2A.	
§ 150.0(k)2E:	Automatic Shutoff Controls. In bathrooms, garages, laundry rooms, utility rooms and walk-in closets, at least one installed luminaire must be controlled by an occupancy or vacancy sensor providing automatic-off functionality. Lighting inside drawers and cabinets with opaque fronts or doors must have controls that turn the light off when the drawer or door is closed.	
§ 150.0(k)2F:	Dimmers. Lighting in habitable spaces (e.g., living rooms, dining rooms, kitchens, and bedrooms) must have readily accessible wall-mounted dimming controls that allow the lighting to be manually adjusted up and down. Forward phase cut dimmers controlling LED I sources in these spaces must comply with NEMA SSL 7A.	
§ 150.0(k)2K:	Independent controls. Integrated lighting of exhaust fans shall be controlled independently from the fans. Lighting under cabinets or shelves, lighting in display cabinets, and switched outlets must be controlled separately from ceiling-installed lighting.	
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and me applicable requirements may be used to meet these requirements.	
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than watts of power.	
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply wit applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.	

9 150.0(k)5:	applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.	
Solar Readiness:		
§ 110.10(a)1:	Single-family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).	
Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply will access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less the feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than \$\frac{1}{2}\$ square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must located on the roof or overhang of the building and have a total area no less than 250 square feet.		

feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zo located on the roof or overhang of the building and have a total area no less than 250 square feet.	
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must have an azimuth between 90-300° of true north.
	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof

		Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for
Ì	g 110.10(b)36.	solar zone, measured in the vertical plane.*
	§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the
	§ 110.10(b)3A:	mounted equipment. `
		Snading. The solar zone must not contain any obstructions, including but not limited to. Vents, chimneys, architectural leatures, and roof

§ 110.10(b)4:	roof dead load and roof live load must be clearly indicated on the construction documents.	
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.	
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.	

§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.	
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double po circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."	

Electric and Energy Storage Ready:

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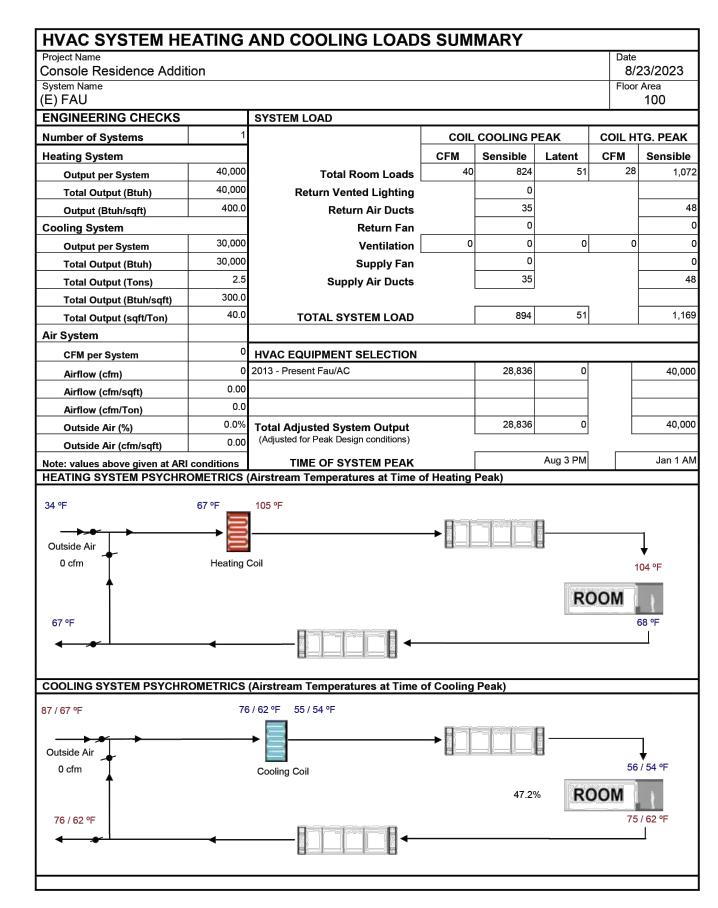
Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or more and four or more ESS supplied branch circuits, or a dedicated raceway from the

2022 Single-Family Residential Mandatory Requirements Summary

	main service to a subpanel that supplies the branch circuits in § 150.0(s); at least four branch circuits must be identified and have the source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar re	
	225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.	
3 150.0(t)	Heat Pump Space Heater Ready. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."	
3 150.0(u)	Electric Cooktop Ready. Systems using gas or propane cooktop to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."	
3 150.0(v)	Electric Clothes Dryer Ready. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready;" and a reserved main electrical service panel space to allow for the installation of a double pole	

circuit breaker permanently marked as "For Future 240V use."

*Exceptions may apply.



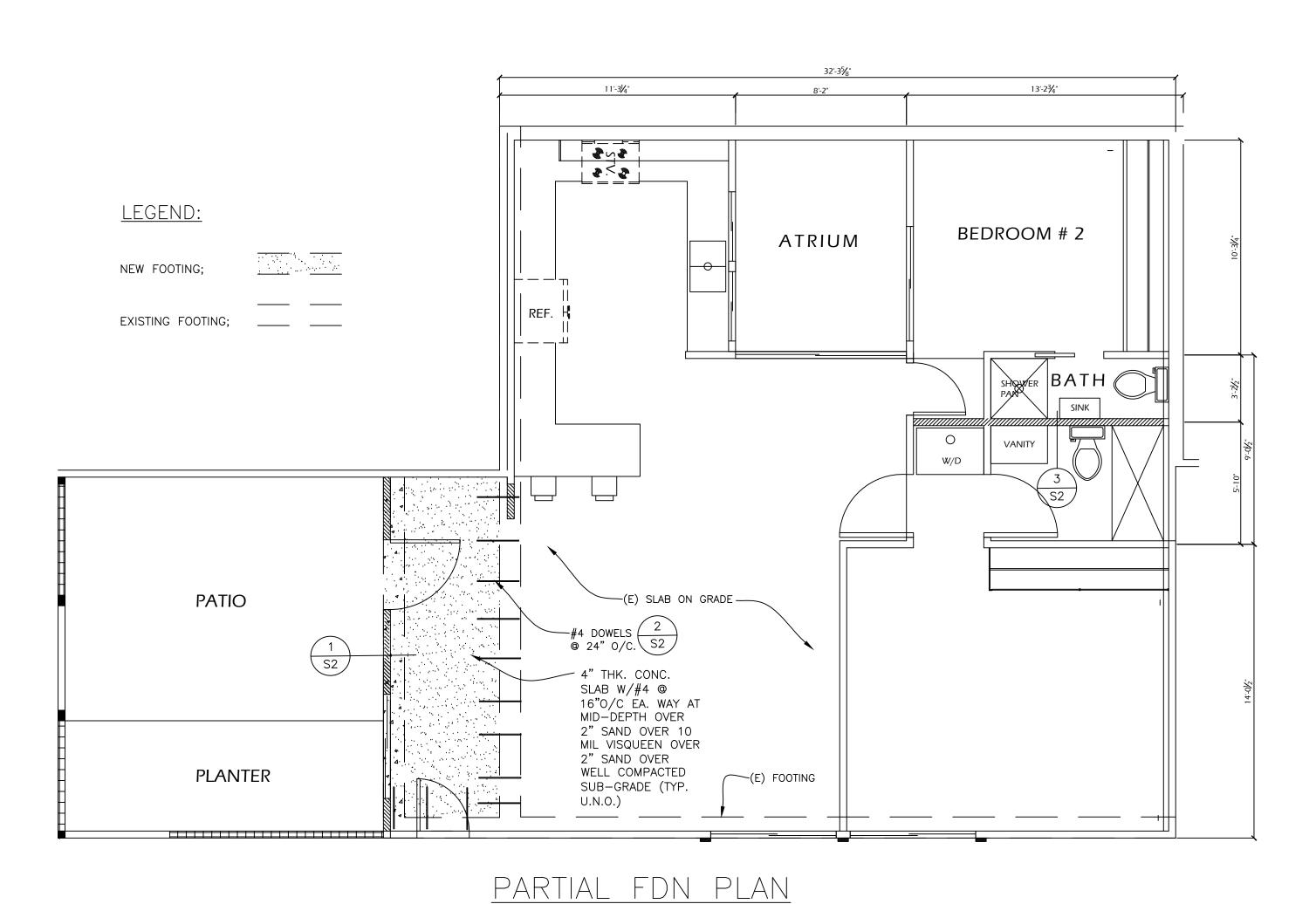
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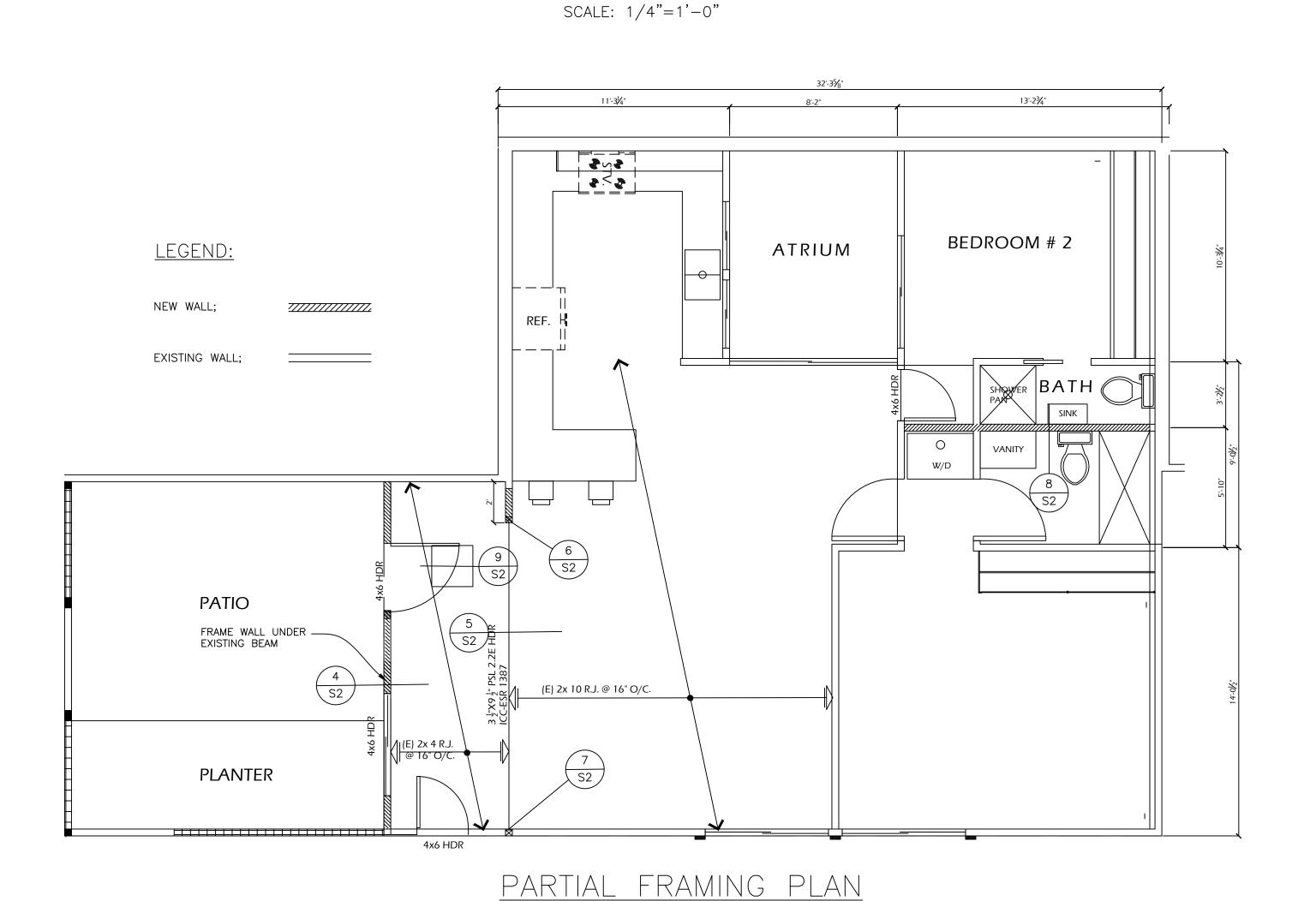
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REVISIONS:

CHECKED BY: DESIGNED BY:

SHEET: NTS





SCALE: 1/4"=1'-0"

ENGINEER NOTE:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ENGINEER IF ANY DISCREPANCIES OCCUR

STATEMENT OF SPECIAL INSPECTIONS

SPECIAL INSPECTIONS SHALL BE REQUIRED FOR THE FOLLOWING CONDITIONS AS PER 2022 CBC, 1704. THE OWNER SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM THE INSPECTIONS DURING CONSTRUCTION:

- EPOXY BOLTS IN EXISTING FOOTING

DESIGN DATA @ WOOD SHEAR WALL:

A. ROOF LIVE LOAD = 20 PSF

B. WIND DESIGN DATA;

a) BASIC WIND SPEED = 110 MPH

b) WIND IMPORTANCE FACTOR = 1.0; RISK CATEGORY = II c) WIND EXPOSURE = C

d) INTERNAL PRESSURE COEFFICIENT = 0.55

C. EARTHQUAKE DESIGN DATA;

a) SEISMIC IMPORTANCE FACTOR = 1.0; RISK CATEGORY = II b) MAPPED SPECTRAL RESPONSE ACCELERATION, Ss = 1.39; S1 = 0.44

c) SITE CLASS = D

d) SPECTRAL RESPONSE COEFFICIENT, SDs = 1.1; SD1 = 0.73 e) SEISMIC DESIGN CATEGORY = D

f) BASIC "SFRS" = LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE OR STEEL SHEETS

g) DESIGN BASE SHEAR = 0.169Wd

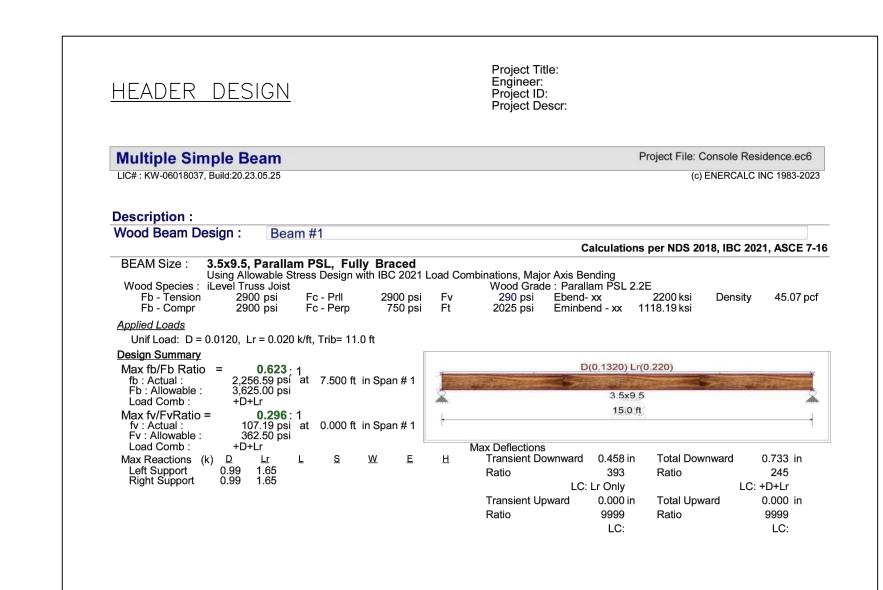
h) SEISMIC RESPONSE COEFFICIENT, CS = 0.169i) RESPONSE MODIFICATION FACTOR = 6.5

) ANALYSIS PROCEDURE USED = EQUIVALENT LATERAL FORCE PROCEDURE

k) REDUNDANCY FACTOR USED = $1.3 \times 0.7 = 1$

D. SPECIAL LOADS = N/A

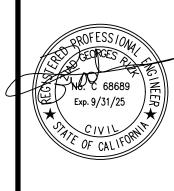
E. SYSTEMS OR COMPONENTS REQUIRING SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE = WOOD SHEAR WALLS WITH 4" OR LESS NAIL SPACING





RESIDENTIAL & COMMERCIA TEL: (310) 467-1387 SLIM@SLIMDESIGNCONSULTING.C PLANS BY: FIRAS SLIM

STAMP



PROJECT

Date: 07/12/2023

Drawn by: F.SLIM

GENERAL NOTES

EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED OR SHOWN ON THE PLANS, WORKMANSHIP & MATERIALS SHALL CONFORM TO THE 2022 CBC

 THE PLANS SHALL BE REVIEWED FOR DIMENSIONAL & EXISTING SITE CONFORMANCE WITH THE PLANS BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION THE APPLIERCY & ENCINEER SHALL BE NOTIFIED OF ANY

CONSTRUCTION. THE ARCHITECT & ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.

3. WORKING DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS.

4. ITEMS IDENTIFIED BY TRADE NAMES MAY BE SUBSTITUTED BY APPROVED EQUALS.

5. NOTES & DETAILS ON DRAWINGS SHALL PRECEDE THESE GENERAL NOTES

6. G.C. TO FIELD VERIFY EXIST. SLAB IS NOT POST—TENSIONED. DO NOT CUT INTO POST—TENSIONED SLAB. LOCATE POST TENSIONED SLAB TENDONS BY X—RAY DETECTION PRIOR TO STARTING ANY CUTTING OR DRILLING. SPECIAL CARE SHALL BE TAKEN NOT TO CUT ANY TENDONS DURING CONSTRUCTION

REMODELING NOTES

1. PROVIDE ANY SHORING & OR BRACING PRIOR TO REMOVING EXISTING WALLS, BEAMS, OR SUPPORTS FOR CONSTRUCTION. REMOVE SHORING ONLY WHEN NEW SUPPORTS ARE IN PLACE AND SECURED.

PROVIDE RED HEADS INTO EXISTING CONCRETE AT ALL SHEAR WALLS PER MFG. SPECIFICATIONS. SEE SHEAR WALL SCHEDULE FOR SIZE AND SPACING.
 PROVIDE SIMPSON ST-6224 BETWEEN NEW WALLS AND EXISTING WALLS AT THE DOUBLE TOP PLATE.

4. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON DRAWINGS AND PROTECT THEM FROM DAMAGE.
5. DO NOT CUT POST TENSION SLABS. CONTRACTOR TO DETERMINE EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.

6. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS FOR FOOTINGS, BEAMS AND JOISTS, SIZES LOCATIONS ETC. AND SHALL NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES.

7. DOWEL NEW INTO EXISTING SLABS W/#4 REBAR @ 24" O.C. AND FOOTINGS W/DOWELS TO MATCH NEW REINF. SIZE/LOCATION.

ENGINEERING NOTES

1. CONCRETE SLABS ON GRADE HAVE NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER.

2. THE VIBRATIONAL EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER.

3. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING SHORING, TEMPORARY SUPPORTS ETC., IS THE SOLE RESPONSIBLITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING THE ENTIRE COURSE OF CONSTRUCTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR FIELD INSPECTION/OBSERVATION OF THE ABOVE ITEMS.

4. ALLOWABLE SOILS PRESSURE TO BE A MINIMUM OF 1500 PSF UNLESS A SOILS REPORT IS PROVIDED. SOILS IN THE BUILDING AREA & 5 FEET BEYOND SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION PER 2019 C.B.C. SOILS REPORT BY:

INDICATES SHEAR WALL TYPE & LENGTH. SEE FOUNDATION & OR FRAMING PLAN AND SHEAR WALL SCHEDULE FOR TYPE, SILL BOLTING, SHTG., ETC. NOTE: FOR SILL BOLTING AT EXISTING FOOTINGS USE "RED HEAD WEDGE ANCHORS" ICC# ER-1372 THE SAME SIZE & SPACING AS SILL BOLTING (MIN 7 1/2" EMBED).

INDICATES POST

POSTS ARE TO CONTINUE DOWN TO FOUNDATION.

SEE HOLDOWN DETAILS AND TYPICAL WALL FRAMING FOR FURTHER POST SIZE REQUIREMENTS.

FOUNDATION NOTES

6 X 14 & LARGER

1. SOIL BENEATH FOOTINGS AND SLABS SHALL BE COMPACTED PER 2022 C.B.C.

(90%) RELATIVE COMPACTION MINIMUM.

2. IF A SOIL REPORT IS REQUIRED FOR THE PROJECT, THE SOILS ENGINEER SHALL INSPECT THE FOUNDATION PRIOR TO POURING OF CONCRETE AND SHALL VERIFY THE SOIL BEARING PRESSURE TO BE 1500 PSF MIN OR PER THE SOILS REPORT.

3. SLAB ON GRADE: 4 INCH. CONCRETE SLAB WITH #3 9 18"0/C E.W. 9 CENTER OF SLAB OVER 2" OF SAND OVER 10 MIL VISILIER OVER COMPACTED SOILS LIND.

OF SLAB OVER 2" OF SAND OVER 10 MIL VISQUEEN OVER COMPACTED SOILS U.N.O.

4. NO TRENCHES OR EXCAVATIONS FIVE FEET IN DEPTH OR GREATER INTO WHICH A PERSON SHALL BE REQUIRED TO DESCEND SHALL BE MADE WITHOUT PROPER PERMIT.

5. THE MINIMUM BOLTING FOR SILL PLATES TO FOUNDATION SHALL BE AS FOLLOWS: 5/8" DIAMETER ANCHOR BOLTS WITH 7" MIN EMBEDMENT IN CONCRETE WITH

SPACING NO GREATOR THAN 4 FEET O.C. NOR FURTHER THAN 12" FROM CORNERS (MIN 2 BOLTS PER PIECE). SEE THE FOUNDATION PLAN & SHEAR WALL SCHEDULE FOR FURTHER BOLTING REQUIREMENTS

6. PIPES OR DUCTS THAT EXCEED ONE THIRD THE SLAB OR CONC. WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONC. UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES,

7. PIPES MAY PASS THRU STRUCTURAL CONC. IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN.

8. PROVIDE 3/4" CHAMFERS AT ALL EXPOSED CORNERS

9. SEE ARCHITECTURAL PLANS FOR MOLDS, GROOVES, ORNAMENTS CLIPS OR GROUNDS REQUIRED TO BE CAST IN CONCRETE, AND FOR LOCATIONS OF FLOOR FINISHES AND SLAB DEPRESSIONS.

10. LOCATION OF POUR JOINTS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.

11. G.C. TO FIELD VERIFY EXIST. SLAB IS NOT POST—TENSIONED. DO NOT CUT INTO POST—TENSIONED SLAB. LOCATE POST TENSIONED SLAB TENDONS BY X—RAY DETECTION PRIOR TO STARTING ANY CUTTING OR DRILLING. SPECIAL CARE SHALL BE TAKEN NOT TO CUT ANY TENDONS DURING CONSTRUCTION

1. UNLESS OTHERWISE NOTED ON PLANS CONCRETE SHALL BE TYPE II WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. CEMENT SHALL CONFORM TO A.S.T.M. CX-150 FINE & COURSE AGGREGATE SHALL CONFORM TO

2. WATER-CEMEMT RATIO TO BE 0.45

REINFORCING STEEL

1. REINFORCING STEEL, #3 AND #4 GRADE 40, #5 AND LARGER GRADE 60 PER A.S.T.M. A615.

2. LOW HYDROGEN WELDING RODS SHALL BE USED FOR ALL WELDING OF REINFORCING BARS.

3. BARS NOTED AS "CONT "TYPICAL WALL REINFORCING AND VERTICAL COLUMN REINFORCING SHALL HAVE A MINIMUM SPLICE OF 50 BAR DIAMETERS LAP IN MASONRY OR 40 BAR DIAMETERS MINIMUM IN CONCRETE..

4. REINFORCING SHALL BE SPLICED ONLY AS SHOWN OR NOTED. OTHER SPLICES SHALL BE APPROVED BY THE STRUCURAL ENGINEER.

5. SPLICES IN ADJACENT HORIZONTAL WALL REINFORCING BARS SHALL BE STAGGERED 4 FEET UNLESS OTHER WISE NOTED.

6. PROVIDE DOWELS IN FOOTINGS AND/OR GRADE BEAMS THE SAME SIZE AND

FRAMING NOTES

FRAMING SHALL COMPLY WITH CHAPTER 23 OF THE 2022 CBC

USE SIMPSON U-HANGERS ON ALL JOIST/BEAM/BEAM CONNECTIONS UNLESS

2. ALL POSTS SHALL HAVE SIMPSON "PC" CONNECTORS AT TOP AND SIMPSON "BC" OR "BCO" CONNECTORS AT BASES UNLESS OTHERWISE NOTED ON PLANS.

3. ALL CONNECTING HARDWARE, JOIST HANGERS, TIE STRAPS ETC. SHALL BE SIMPSON "STONG—TIE" UNLESS OTHERWISE NOTED OR SHOWN ON PLANS.

FRAMING—WALL

1. SIZE, SPACING & HEIGHT LIMITS FOR WOOD STUDS ARE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

2X4 @ 16"OC (BEARING WALL) SUPPORTING A MAXIMUM OF ONE FLOOR AND ONE ROOF SHALL HAVE A MAXIMUM HEIGHT OF 10 FEET

2X4 @ 16"OC (NON—BEARING WALL) SHALL HAVE A MAXIMUM HEIGHT OF 14 FEET 2X6 @ 16"OC (BEARING WALL) SUPPORTING A MAXIMUM OF TWO FLOORS AND A ROOF SHALL HAVE A MAXIMUM HEIGHT OF 10 FEET.

2X6 @ 16"OC (NON—BEARING WALL) MAXIMUM HEIGHT IS 20 FEET

2. RAKE WALLS AJDACENT TO SLOPED CEILINGS SHALL BE BALLOON FRAMED. DOUBLE TOP PLATES SHALL ALWAYS BE SUPPPORTED BY A ROOF OR CEILING DIAPHRAM.

3. SHEAR WALL PANELS MUST BE CONTINUOUS TO THE TOP PLATE AT ROOF FRAMING. SHEATHING SHALL HAVE ALL EDGES BLOCKED & THE APPROPRIATE SHEAR TRANSFER THRU CEILING OR SOFFIT FRAMING.

4. BORING AND NOTCHING OF WALL STUDS SHALL BE PER 2022 C.B.C. (2308.5.9 & 2308.5.10)

NOTCHING MAXIMIUM: 25% OF WIDTH ON BEARING WALLS

40% OF WIDTH ON NON-BEARING WALLS

BORING MAXIMUM: 40% OF WIDTH ON BEARING WALLS

60% OF WIDTH ON NON-BEARING WALLS.

NOTE: A MIN 5/8"CLEARANCE FROM EDGE OF STUD TO HOLE SHALL BE PROVIDED.

5. DOUBLE 2X TOP PLATE SHALL BE LAPPED 48" AT ALL SPLICES AND SHALL OVERLAP AT CORNERS.

6. WALL BRACING SHALL BE PROVIDED PER 2019 C.B.C. (2308.6.1) PROVIDE 1X6 LET-IN BRACING (@ APPROX. 45 DEGREES) EVERY 25' IN ALL STUD WALL NOT SHEATHED. BRACES TO RUN CONTINUOUS FROM TOP PLATE TO SILL PLATE.

7. ALL PLUMBING WALL SHALL BE 2X6 STUDS @ 16" 0/C (MIN)

1. FLOOR SHEATHING (MIN) 3/4" STRUCTURAL I T & G PLYWOOD PANEL INDEX NO. 32/16 WITH EXTERIOR GLUE. USE 10d NAILS AT 6"OC AT ALL EDGES, BOUNDARIES, SHEARWALLS & 10"OC FIELD. NO BLOCKING IS REQUIRED UNLESS NOTED ON PLAN. ALL EDGES BLOCKED AT DECKS.

PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL NON-BEARING PARTITIONS.
 PROVIDE CONTINUOUS BLOCKING BETWEEN FLOOR JOISTS UNDER BEARING WALLS WHICH ARE PERPENDICULAR TO JOISTS.

4. FRAMING AROUND OPENINGS: TRIMMER AND HEADER JOISTS SHALL BE DOUBLED AND SUPPORTED BY HANGERS PER CODE (2019 CBC 2308.7.6).

1. ROOF SHEATHING (MIN) 1/2" STANDARD PLYWOOD PANEL INDEX NO. 24/0 WITH EXTERIOR GLUE. USE 8d NAILS AT 6"OC AT ALL EDGES, BOUNDARIES AND SHEAR WALLS & 12" OC FIELD. NO BLOCKING IS REQUIRED UNLESS NOTED ON PLAN.

2. FRAMING AROUND OPENINGS: TRIMMER AND HEADER JOISTS SHALL BE DOUBLED AND SUPPORTED BY HANGERS PER CODE.

FRAMING—CEILING PER 2022 C.B.C. TABLE 2308.7.1(2)

CEILING JOISTS SHALL BE 2X6 @16"O.C. (MAX SPAN=12'-10")
 CEILING JOISTS SHALL BE 2X8 @16"O.C. (MAX SPAN=16'-3")

FRAMING-JOISTS/RAFTERS

<u>LUMBER</u>

1. BORING AND NOTCHING OF JOISTS SHALL BE AS FOLLOWS:

(2022 CBC 2308.7.4)
BORING-MAX. DIA. OF HOLE SHALL NOT EXCEED 1/3 OF DRESSED DEPTH OF JOIST WITH A MINIMUM EDGE CLEARANCE OF TWO INCHES. NOTCHING-MAX. DEPTH AT ENDS SHALL NOT EXCEED 1/4 OF DRESSED DEPTH. NO NOTCHING IS ALLOWED IN THE CENTER THIRD OF THE JOIST SPAN. NOTCHING IN OTHER LOCATIONS SHALL BE ON THE COMPRESSIVE SIDE WITH A MAX DEPTH OF 1/6 OF THE JOIST DEPTH.

2. WHERE THREE OR MORE (MULTI JOISTS) ARE USED THE JOISTS SHALL BE BOLTED

SHALL BE RETIGHTENED PRIOR TO APPLYING FINISH MATERIALS.

3. JOISTS/RAFTERS SHALL LAP AT SPLICES A MIN. OF 4 INCHES WITH 3-16d NAILS OR USE SIMPSON ST 2115 @ 48 INCHES O.C.

TOGETHER WITH 1/2"DIA MACHINE BOLTS W/ WASHERS AT 24"OC STAGGERED. BOLTS

4. CROSS BRIDGING OR 2X BLKG.SHALL BE PROVIDED @ 8'-0" O/C, MAX. FOR ALL JOISTS AND RAFTERS MORE THAN 8" IN DEPTH

5. 2X SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS.

FRAMING—BOLTING

 ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD OR NUT. SEE SCHEDULE
 ALL BOLTS SHALL BE RETIGHTENED, PRIOR TO APPLICATION OF PLYWOOD,

3. HOLES FOR BOLTS SHALL BE BORED 1/32" TO 1/16" LARGER THAN NOMINAL BOLT DIAMETER.

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH OF THE FOLLOWING GRADES UNLESS OTHERWISE NOTED (MAX MOISTURE CONTENT SHALL NOT EXCEED 19% & GRADED IN ACCORDANCE WITH THE WEST COAST LUMBERMANS ASSOCIATION.)

REPETATIVE USE MEMBERS STUDS & PLATES JOISTS & RAFTERS	NO.2
2X4 TO 4X4 INCLUSIVE	
2X6 TO 3X16 INCLUSIVE	N0.2
SINGLE USE MEMBERS BEAMS	
	NO 2
4X	NO.1
POSTS & MULLIONS	
4X4 & SMALLER	
4X6 & LARGER	
6X6 & LARGER	N0.1
MISCELLANEOUS LUMBER	
BLOCKING, FURRING, ETC	NO.3
DECKING & SHEATHING	
2X,3X,4X	COMM'L DEX.

2. ALL WOOD BEARING ON CONCRETE OR MASONRY IF LESS THAN 4 FEET FROM GRADE SHALL BE PRESSURE TREATED DOUG FIR.

3. GLUED-LAMINATED WOOD BEAMS SHALL BE DOUGLAS FIR COMB. 24F-V8(*) DF/DF (Fb=2400PSI, Fv=165 PSI, E=180,000 PSI) INDUSTRIAL APPEARANCE WITH EXTERIOR GLUE UNLESS OTHERWISE NOTED ON PLANS. A CERTIFICATE OF INSPECTION FOR EACH GLU-LAM BEAM FROM AN APPROVED TESTING AGENCY TO BE SUBMITTED AND APPROVED BY THE BUILDING DEPT. PRIOR TO ERECTION. [(*) USE V8 FOR CANT. BEAMS AND V4 FOR SIMPLE SPANS BEAMS]

4. ALL STRUCTURAL PLYWOOD SHALL BE IN ACCORDANCE WITH DOC P.S.1-07

NAILING SCHEDULE (2022 CBC TABLE 2304.10.1)

THIS NAILING IS TYPICAL UNLESS OTHERWISE NOTED NAILS SHALL BE BOX OR COMMON WIRE SPECIFICLY DETAILED CONNECTIONS SHALL BE NAILED WITH COMMON WIRE NAILS. DIAPHRAGM SHEATHING NAILS OR OTHER APPROVED SHEATHING CONNECTIONS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH

THE SURFACE OF THE SHEATHING. <u>JOISTS OR RAFTERS TO SIDES OR STUDS</u>
8 INCHES IN DEPTH OR LESS----3-16d FOR EACH ADDITIONAL 4"DEPTH ADD-----1-16d STUDS TO BEARING-TOE NAILS EA. SIDE-----4-8d BLOCKING BETWEEN JOISTS/RAFTERS FROM BLOCKING TO BEARING TOE NAILS EA SIDE----3-10d **BLOCKING BETWEEN STUDS** -----2-16d PROGRESSIVE BLOCKING
RAFTER TO BLOCK & BLOCK TO CONT. NAILER----2-16d **MULTIPLE STUDS** (STAGGER NAILS ON STUDS WIDER THAN 4")------6d@24"OC RIBBON TO STUDS 2X RIBBON----2-16d UPPER TO LOWER PLATE-----16d@16"OC AT SPLICES (48"MIN) ON EACH SIDE
OF BUTT IN TOP PLATE----8-16d UPPER TO LOWER PLATE
AT INTERSECTIONS----8-16d

PLYWOOD NAILING(SEE DETAILS &/OR SCHEDULES
BUILT UP BEAMS -------20d@32"OC T&B STAGGERED 2-20d @ END
1X6 LET-IN BRACES, EACH BEARING.----2-8d
(PRE-DRILL HOLES FOR NAILS)

DBL. 2x HDR.—

SAME SIZE AS

TYPE "U" HGR.—

SIMP. "HU" HGR. OR -

APPROVED EQUAL (TYP.)

NOTE: PROVIDE PLYWD. EDGE NLG.

TO ALL EDGES OF OPNG.

JOIST

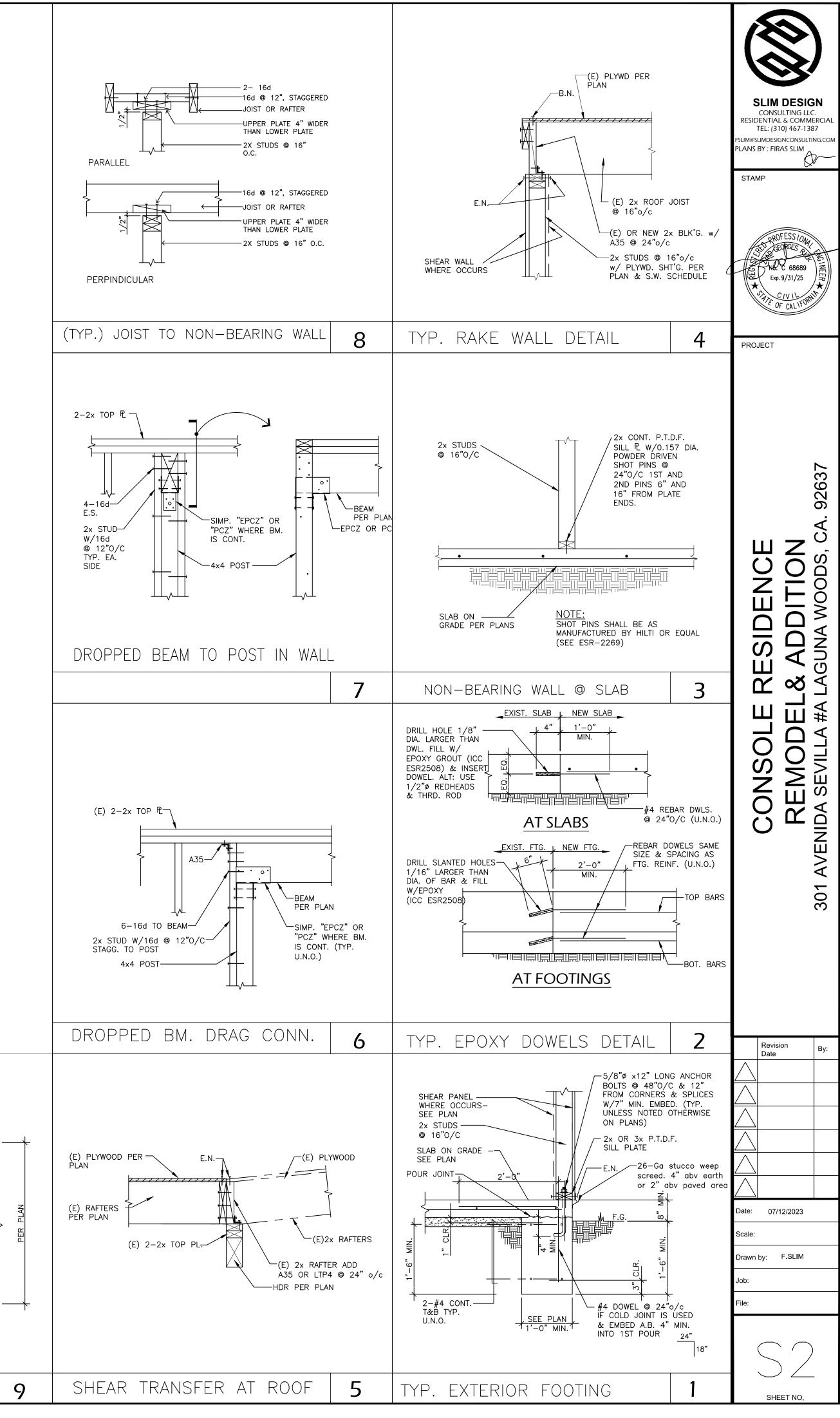
DBL. JOIST EA.

SIDE OF OPNG.

<u>OPĖMING</u>

PLAN VIEW

TYP. OPENING FRAMING DETAIL



ATTACHMENT 5 DRAFT CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

<u>Manor:</u> 301-A

Variance Description: Extend Living Room into Patio area 5'-11"x 17'-3"

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

Manor-Specific Conditions:

A. General Comments:

- A.1. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all footing and foundation additions and modifications for the work of this variance, up to and including both patio wall modifications and new construction retaining wall.
- A.2. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

B.1. Prior to the issuance of a Mutual Consent for Alterations, a sample of the interlocking pavers shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, if required a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to Issuance of a Mutual Consent for Alterations member is to provide coordination with Landscaping of Interlocking paver landing at new door. Member is responsible for all costs associated with Landscape services.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

General Conditions:

G. General Conditions

- G.1. No improvement shall be installed, constructed, modified or altered at **301 Avenida Seviila Unit A**, ("Property") within the United Laguna Woods Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 301 Avenida Seviila Unit A and all future Mutual Members at 301 Avenida Seviila Unit A.
- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (http://www.lagunawoodsvillage.com/residents/resident-services and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. Must obtain an approved Mutual Consent application within 180 days or 6 months of the variance approval before it is expired.
- G.10. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the approprite Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a

- copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.11. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.12. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See http://www.lagunawoodsvillage.com.
- G.13. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.14. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.15. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.16. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.17. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.18. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.19. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

- G.20. Violations of the forgoing conditions or the Mutual's Governing Documents (See http://www.lagunawoodsvillage.com), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.21. Member shall indemnify, defend and hold harmless United Laguna Woods Mutual and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



RESOLUTION 01-24-XX

Variance Request

WHEREAS, Member located at 301 Avenida Seville Unit A, a Madrid style manor, requests the Architectural Control and Standards Committee approval of a variance to extend living room into patio area 5'-11"x 17'-3"; and

WHEREAS, a Neighborhood Awareness Notice was sent to members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Control and Standards Committee or in person at the Architectural Control and Standards Committee Meeting on February 15, 2024; and

WHEREAS, the Architectural Control and Standards Committee reviewed the variance and moved for approval of the variance to extend living room into patio area 5'-11"x 17'-3"

NOW THEREFORE BE IT RESOLVED, on March 12, 2024, the United Laguna Woods Mutual Board hereby approves the variance to extend living room into patio area 5'-11"x 17'-3"; and

RESOLVED FURTHER, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the property's member at 301 Avenida Seville Unit A, and all future mutual members at 301 Avenida Seville Unit A; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.





STAFF REPORT

DATE: February 15, 2024

FOR: Architectural Control and Standards Committee

SUBJECT: Revision to Standard 20: Balcony, Patio, and Atrium Covers

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the revised Standard 20: Balcony, Patio and Atrium Covers.

BACKGROUND

The ACSC initiated a review of Standard 20: Patio and Balcony Covers (Attachment 1) and proposed revisions to bring it up to current standards and improved design options. Standard 20 was last revised in January 2019, via Resolution 01-19-07 (Attachment 2).

DISCUSSION

The suggested modifications to this standard are recommended in order to allow for updates in material selections; clarify definitions and modifications to existing drainage conditions; clarify allowable conditions for interior atriums; and update drainage requirements for the patio/balcony covers as outlined in Attachment 3.

FINANCIAL ANALYSIS

The proposed revisions to Standard 20 will not impact the budget.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director

Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Current Standard 20: Patio and Balcony Covers; Aluminum and Vinyl

Attachment 2 – Current Resolution 01-19-07

Attachment 3 – Redlined Revised Standard 20: Balcony, Patio and Atrium Covers

Attachment 4 - Final Draft Standard 20: Balcony, Patio and Atrium Covers

Attachment 5 - Proposed Resolution 01-24-XX



STANDARD 20: BALCONY AND PATIO COVERS; ALUMINUM AND VINYL

JULY 2002, RESOLUTION U-02-107
APRIL 2008, RESOLUTION 01-08-60
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
REVISED JANUARY 2015, RESOLUTION 01-15-02
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
REVISED JANUARY 2019, RESOLUTION 01-19-07

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 APPLICATIONS

- 2.1 Posts shall be of aluminum or vinyl (including alumawood, or vinylclad materials), square type, or to match existing posts of covers on the building.
- 2.2 All posts must be anchored to concrete slabs or inside patio walls. Posts may be attached to walls only if such walls have been constructed and inspected for such applications.
- 2.3 Color options for aluminum patio covers are white, almond or bronze. Color options for vinyl materials are white, ,beige, and adobe. The color of the first patio cover or enclosure on each side of the Building sets color precedence for all future patio cover and/or enclosure installations. Color may match stucco in some cases where no wood trim exists as defined by the Alterations Division.
- **2.4** Balcony covers of aluminum must have aluminum fascias.
- 2.5 In the case that the alteration results in the compromise of an existing roof drainage system, the Member will be responsible for repairing, modifying or replacing the existing system, including installing an appropriate downspout, if necessary.
- 2.6 Downspouts must be painted to match the surface to which they may be attached. Downspouts shall not empty into other patio areas or hinder maintenance in any way. Gutters and downspouts shall be installed per Standard 18: Gutters and Downspouts.



- 2.7 Plastic skylight panels, as produced by the manufacturer, may be installed in patio covers. Installations shall be per approved specifications as outlined by the manufacturer's recommendations.
- **2.8** Plexiglas, corrugated fiberglass, and similar coverings will not be permitted.
- 2.9 Buildings with atriums may install a cover that conforms to the light and ventilation requirements of Section 12 of the California Building Code. The cover may not extend above the height of the existing walls. Skylight type panels are optional. A cover may not be installed over an atrium when the atrium serves as a means of exit for a sleeping room.
- 2.10 All patio covers must be built per standard plan drawings in dimension and structure. Only those covers with state approved engineering specifications will be accepted.
- **2.11** Covers will span only the patio area as defined by the patio slab, wall, or as indicated on the standard drawing.
- **2.12** Overhang dimensions will be per standard plan drawings or as determined by the Alterations Division.

3.0 PATIOS OVER WHICH A BALCONY EXISTS

- 3.1 Patio covers may not extend beyond the original construction footprint of a manor that lies beneath a balcony, exclusive of the required 6" overhang for the incorporated gutter system.
- **3.2** Flat roofs may not replace existing eyebrow covers if the enclosure extends beyond the original construction footprint.
- **3.3** Existing flat roofs may be replaced with a flat roof of equal or lesser size.
- 3.4 The color of the patio cover roof surface must be factory-finished and match the building. Caulking color shall match the finish of the cover and the width of the caulk lines shall be kept to a minimum.
- **3.5** The patio cover roof surface must drain away from the building.

Resolution 01-19-07

Revisions to Architectural Standard 20: Patio Covers; Aluminum

WHEREAS, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

WHEREAS, the Architectural Controls and Standards Committee recognize the need to create Alteration Standard 20: Balcony and Patio Covers: Aluminum and Vinyl

NOW THEREFORE BE IT RESOLVED, January 8, 2019, that the Board of Directors of this Corporation hereby adopts revisions to Alteration Standard 20: Balcony and Patio Covers: Aluminum and Vinyl, attached as part of the official minutes of this meeting;

RESOLVED FURTHER, that Resolution 01-15-02, adopted January 2015, is hereby superseded and cancelled; and

RESOLVED FURTHER; that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.



STANDARD 20: BALCONY, AND PATIO AND ATRIUM COVERS; ALUMINUM AND VINYL

JULY 2002, RESOLUTION U-02-107
APRIL 2008, RESOLUTION 01-08-60
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
REVISED JANUARY 2015, RESOLUTION 01-15-02
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
REVISED JANUARY 2019, RESOLUTION 01-19-07
REVISED [DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD SECTION 1: GENERAL REQUIREMENTS

2.0 **DEFINITIONS**

- 2.1 Balcony: A platform that projects from the wall of a manor and is enclosed by a parapet or railing.
- 2.2 Patio: A paved area that adjoins the manor at ground level which does not serve as walkway or landing.
- 2.3 Balcony/Patio Cover: A single story architectural projection that provides weather protection or decoration and is partially or wholly supported by the building to which it is attached. A cover is comprised of a lightweight frame structure over which a covering is attached.
- 2.4 Atrium: An open space without a roof in the interior of a floor plan enclosed by walls on all four sides.
- 2.5 Atrium Cover: Can be described as in item 2.4 or a cover that encloses the entire open space in a more permanent nature.

2.03.0 APPLICATIONS

- 2.1 Posts shall be of aluminum or vinyl (including alumawood, or vinylclad materials), square type, or to match existing posts of covers on the building. The cover may be either fixed or retractable.
- 3.2 All covering materials shall meet all local, state and federal requirements.
- **2.13.3** Alterations to existing roof structure and drainage/guttering system

are prohibited.

- 2.23.4 All posts must be anchored to concrete slabs or inside patio walls.

 Posts may be attached to walls only if such walls have been constructed and inspected for such applications. Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and Downspouts requirements.
- Color options for aluminum patio covers are white, almond or bronze. Color options for vinyl materials are white, ,beige, and adobe. The color of the first patio cover or enclosure on each side of the Building sets color precedence for all future patio cover and/or enclosure installations. Color may match stucco in some cases where no wood trim exists as defined by the Alterations Division. All new downspouts must be painted to match the surface to which they are attached.
- 2.33.6 Posts and all main structural elements shall be made of aluminum, power coated aluminum or vinyl clad aluminum.
- 2.43.7 Balcony covers of aluminum must have aluminum fascias. All posts must be anchored directly to concrete slab or original balcony flooring.
- In the case that the alteration results in the compromise of an existing roof drainage system, the Member will be responsible for repairing, modifying or replacing the existing system, including installing an appropriate downspout, if necessary. Color finish options: white, almond, bronze to blend with existing surrounding conditions as closely as possible.

2.5

- 2.63.9 Downspouts must be painted to match the surface to which they may be attached. Downspouts shall not empty into other patio areas or hinder maintenance in any way. Gutters and downspouts shall be installed per Standard 18: Gutters and Downspouts. Premanufactured skylights are allowed in patio covers. Manufacturer specifications and installation guidelines for skylights to be included with mutual consent application.
- 2.73.10 Plastic skylight panels, as produced by the manufacturer, may be installed in patio covers. Installations shall be perapproved specifications as outlined by the manufacturer's recommendations. Plexiglas, corrugated fiberglass and similar coverings will not be allowed.
- <u>3.11</u> Plexiglas, corrugated fiberglass, and similar coverings will not be permitted. All plans submitted must provide proper engineering

approvals and be compliant with current California Building Codes.

2.8

Buildings with atriums may install a cover that conforms to the light and ventilation requirements of Section 12 of the California Building Code. The cover may not extend above the height of the existing walls. Skylight type panels are optional. A cover may not be installed over an atrium when the atrium serves as a means of exit for a sleeping room. Balcony/patio covers to cover only the balcony/patio areas as defined by the patio slab, patio wall, balcony railing or as detailed on building standard plans.

2.9

- 2.10 All patio covers must be built per standard plan drawings in dimension and structure. Only those covers with state approved engineering specifications will be accepted.
- **2.11** Covers will span only the patio area as defined by the patio slab, wall, or as indicated on the standard drawing.
- **2.12** Overhang dimensions will be per standard plan drawings or as determined by the Alterations Division.

4.0 ATRIUMS

- **4.1** Covers are allowed over an atrium if:
 - A. All existing rooms directly adjoining the atrium are NOT classified as bedrooms.
 - B. A bedroom directly adjoining the atrium has a second opening directly to the exterior that meets emergency egress requirements.
- **4.2** A cover may not extend above the height of the existing walls.
- 4.3 All atrium covers of a more permanent nature may vary from above requirements provided that they conform to the current California

 Building Codes. Plans and details to be included with mutual consent application. Plans and details are also subject to review and approval by the City of Laguna Woods Building Department.
- **4.4** Exceptions to 4.1

- A. Per California Building Code, Title 24, Part 2.5, Section R310, all bedrooms must have an emergency escape and rescue opening directly to a public way. Covers shall not be allowed over atriums where a bedroom directly adjoins an atrium and the only means of egress to outside is into an atrium.
- B. Covers may be allowed if a bedroom that adjoins an atrium is reclassified as a "non-sleeping" room. A "non-sleeping" room is defined as a space such as an office or den and which does not have a bedroom egress requirement. Plans indicating this change must be submitted and recorded with the Laguna Woods City Clerk as well as submitted and recorded at the County of Orange Recorders Office.

3.05.0 PATIOS OVER WHICH UNDER EXISTINGA BALCONIESY EXISTS

- 3.15.1 Patio covers may not extend beyond the original construction footprint of the balcony above, exclusive of the allowance needed for gutter system. footprint of a manor that lies beneath a balcony, exclusive of the required 6" overhang for the incorporated gutter system.
- Patio cover shall not impede or interfere with any existing building drainage system. No variances to this requirement will be accepted. Flat roofs may not replace existing eyebrow covers if the enclosure extends beyond the original construction footprint.
- **3.3** Existing flat roofs may be replaced with a flat roof of equal or lesser size.
- 3.4 The color of the patio cover roof surface must be factory-finished and match the building. Caulking color shall match the finish of the cover and the width of the caulk lines shall be kept to a minimum.
- 3.5 The patio cover roof surface must drain away from the building.



STANDARD 20: BALCONY, PATIO AND ATRIUM COVERS

JULY 2002, RESOLUTION U-02-107
APRIL 2008, RESOLUTION 01-08-60
GENERAL REQUIREMENTS REVISED JUNE 2011, RESOLUTION 01-11-104
REVISED JANUARY 2015, RESOLUTION 01-15-02
GENERAL REQUIREMENTS REVISED JANUARY 2016, RESOLUTION 01-16-08
GENERAL REQUIREMENTS REVISED JUNE 2018, RESOLUTION 01-18-57
REVISED JANUARY 2019, RESOLUTION 01-19-07
REVISED [DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 **DEFINITIONS**

- **2.1** Balcony: A platform that projects from the wall of a manor and is enclosed by a parapet or railing.
- **2.2** Patio: A paved area that adjoins the manor at ground level which does not serve as walkway or landing.
- 2.3 Balcony/Patio Cover: A single story architectural projection that provides weather protection or decoration and is partially or wholly supported by the building to which it is attached. A cover is comprised of a lightweight frame structure over which a covering is attached.
- **2.4** Atrium: An open space without a roof in the interior of a floor plan enclosed by walls on all four sides.
- **2.5** Atrium Cover: Can be described as in item 2.4 or a cover that encloses the entire open space in a more permanent nature.

3.0 APPLICATIONS

- **3.1** The cover may be either fixed or retractable.
- **3.2** All covering materials shall meet all local, state and federal requirements.
- **3.3** Alterations to existing roof structure and drainage/guttering system are prohibited.

- 3.4 Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and Downspouts requirements.
- 3.5 All new downspouts must be painted to match the surface to which they are attached.
- **3.6** Posts and all main structural elements shall be made of aluminum, power coated aluminum or vinyl clad aluminum.
- **3.7** All posts must be anchored directly to concrete slab or original balcony flooring.
- **3.8** Color finish options: white, almond, bronze to blend with existing surrounding conditions as closely as possible.
- 3.9 Premanufactured skylights are allowed in patio covers.

 Manufacturer specifications and installation guidelines for skylights to be included with mutual consent application.
- **3.10** Plexiglas, corrugated fiberglass and similar coverings will not be allowed.
- **3.11** All plans submitted must provide proper engineering approvals and be compliant with current California Building Codes.
- **3.12** Balcony/patio covers to cover only the balcony/patio areas as defined by the patio slab, patio wall, balcony railing or as detailed on building standard plans.

4.0 ATRIUMS

- **4.1** Covers are allowed over an atrium if:
 - A. All existing rooms directly adjoining the atrium are NOT classified as bedrooms.
 - B. A bedroom directly adjoining the atrium has a second opening directly to the exterior that meets emergency egress requirements.
- **4.2** A cover may not extend above the height of the existing walls.
- 4.3 All atrium covers of a more permanent nature may vary from above requirements provided that they conform to the current California Building Codes. Plans and details to be included with mutual consent

application. Plans and details are also subject to review and approval by the City of Laguna Woods Building Department.

4.4 Exceptions to 4.1

- A. Per California Building Code, Title 24, Part 2.5, Section R310, all bedrooms must have an emergency escape and rescue opening directly to a public way. Covers shall not be allowed over atriums where a bedroom directly adjoins an atrium and the only means of egress to outside is into an atrium.
- B. Covers may be allowed if a bedroom that adjoins an atrium is reclassified as a "non-sleeping" room. A "non-sleeping" room is defined as a space such as an office or den and which does not have a bedroom egress requirement. Plans indicating this change must be submitted and recorded with the Laguna Woods City Clerk as well as submitted and recorded at the County of Orange Recorders Office.

5.0 PATIOS UNDER EXISTING BALCONIES

- **5.1** Patio covers may not extend beyond the original construction footprint of the balcony above, exclusive of the allowance needed for gutter system.
- **5.2** Patio cover shall not impede or interfere with any existing building drainage system. No variances to this requirement will be accepted.



RESOLUTION 01-24-XX REVISED STANDARD 20: BALCONY, PATIO AND ATRIUM COVERS

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognized the need to revise Standard: 20 Patio and Balcony Covers; Aluminum and Vinyl;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts revisions and amendments to Standard 20: Balcony, Patio and Atrium Covers; and

RESOLVED FURTHER, Resolution 01-19-07 adopted January 08, 2019, is hereby superseded and canceled; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

MARCH INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.



STAFF REPORT

DATE: February 15, 2024

FOR: Architectural Control and Standards Committee SUBJECT: Enact Standard 39: Balcony and Patio Enclosures

RECOMMENDATION

Staff recommends that the United Architectural Control and Standards Committee (ACSC) endorse the enactment of Standard 39: Balcony and Patio Enclosures.

BACKGROUND

The ACSC initiated a write-up of Standard 39: Balcony and Patio Enclosures (Attachment 1) and the proposed resolution (Attachment 2).

DISCUSSION

While Standard 20: Balcony and Patio Covers already exists, it does not address the many specific aspects associated with a full balcony and patio enclosure. In order to provide clarification between 'cover' and 'enclosure' as well as clear guidelines for architectural, structural and building requirements for both patio and balcony enclosures, enactment of Standard 39 became necessary.

FINANCIAL ANALYSIS

The proposed revisions to Standard 39 will not impact the budget.

Prepared By: Alan Grimshaw, Manor Alterations Manager

Reviewed By: Baltazar Mejia, Maintenance & Construction Assistant Director

Gavin Fogg, Manor Alterations Supervisor

ATTACHMENT(S)

Attachment 1 – Proposed Standard 39: Balcony and Patio Enclosures

Attachment 2 – Proposed Resolution 01-24-XX



STANDARD 39: BALCONY AND PATIO ENCLOSURES[DATE], RESOLUTION 01-24-XX

1.0 GENERAL REQUIREMENTS

SEE STANDARD 1: GENERAL REQUIREMENTS

2.0 **DEFINITIONS**

- **2.1** Balcony: A balcony is a platform that projects from the wall of a manor and is enclosed by a parapet or railing.
- **2.2** Patio: A paved area that adjoins the manor at ground level which does not serve as a walkway or landing.
- 2.3 Balcony/patio enclosure: A single story structure covering a balcony or patio area. It consists of a protected open or enclosed roof, and three sides with the fourth side being the outside face of the manor.

3.0 APPLICATIONS

- **3.1** All submitted plans must provide proper architectural and or engineering approvals.
- **3.2** All submitted plans must indicate compliance with all current California Building Codes.
- 3.3 Balcony/patio enclosures may encompass all or part of the balcony/patio footprint. However, in no case shall the enclosure encroach on any existing HVAC equipment.
- **3.4** All ventilation to be provided naturally through openings in the enclosure. In no case shall additional plumbing heating or air conditioning fixtures be added as part of the enclosure.
- **3.5** Enclosure design without modifications to existing roof structure is strongly encouraged.
- **3.6** All changes to the existing building roof structure to allow for the installation of the new balcony/patio enclosure:
 - A. Must provide approved engineering details.
 - B. Must replace roofing materials with like for like.
 - C. Must provide for any and all modifications necessary to maintain the building's existing guttering/downspout system

- and comply with Standard 18: Gutters & Downspouts.
- D. May trigger an asbestos review and containment protocol.
- E. Must be reviewed and approved by Manor Alterations for conformance with architectural guidelines.
- F. Must be submitted, reviewed, and approved by the City of Laguna Woods Building Department.
- 3.7 Balcony/patio enclosures to be manufactured with aluminum, power coated aluminum or vinyl clad aluminum, and/or including allowances for vinyl windows. Alternate materials maybe considered but will have to provide manufacturers engineering approved plans with submittal.
- 3.8 All bottom track framing, or related structural members to be secured directly to patio concrete slab or original balcony flooring.
- **3.9** Color finish options: white, almond, bronze, to complement existing surrounding conditions as closely as possible.

4.0 PATIOS

- 4.1 The roof structure of balcony above may be considered as roof/ceiling for patio balcony if the enclosure requires support by existing balcony/ceiling, architectural and or engineering verification is required.
- **4.2** Patio enclosure must not extend beyond face of existing balcony above unless necessary to accommodate proper guttering and drainage requirements.
- **4.3** A guttering/downspout system is required and must conform to Standard 18: Gutters and Downspouts.
- **4.4** Privacy patio stone walls may be utilized as part of the patio enclosure if structural verification of said use is provided.
- **4.5** Patios may be partially enclosed.

5.0 BALCONIES

- 5.1 Evidence of compliance with California Balcony Law (SB-326) for structural integrity of existing balcony is required prior to installation of a new balcony enclosure. Inspection of existing balcony by a licensed architect or structural engineer is required if there is no pre-existing evidence of compliance.
- **5.2** Member is responsible for all costs necessary to provide evidence of compliance.

- **5.3** Premanufactured skylights are allowed in ceiling/roof assembly. Manufacturers specifications and installation guidelines must be included with mutual consent application.
- **5.4** All enclosures must be inside of existing railing, handrails or parapets sufficient to allow enough space for ongoing maintenance of said surroundings.

6.0 GLAZING

- 6.1 All glazing must be clear in nature and be tempered safety glass no less than 1/8" in thickness.
- **6.2** Plexiglass, corrugated fiberglass and similar coverings will not be allowed.
- **6.3** Frosted, bottle-type, stained, or louvered-glass type shall not be allowed.
- 6.4 Solar glass, tinted glass, smoke-type glass or film that is applied to glass at the time of manufacturing shall be accepted provided it conforms to Section 6.4
- Reflective tints or films applied to glazing after manufacturing may be applied to glazing providing it does not have a reflectivity factor of more than 15%. Written documentation must be included with application.
- **6.6** Glazing energy efficient recommendations:
 - A. Use low eGlass
 - B. Use *Energy Star* rated windows
 - C. Use dual pane windows
- 6.7 All glass/window screens must be readily removable from the interior only by lifting out of a track without the use of tools.

7.0 GUTTERING & DOWNSPOUTS

- 7.1 All balcony enclosures are required to have a guttering/downspout system installed. Downspouts shall not empty into other patio areas or hinder maintenance in any way. All gutter and downspout systems to comply with United Laguna Woods Mutual Standard 18: Gutters & Downspouts.
- 7.2 Covers that come with a built-in gutter system are acceptable only when the cover's own run-off is being diverted. If the cover design and installation also accommodates water run-off from the existing roof, the gutter and downspout system must meet Standard 18: Gutters and Agenda Item #10b

Downspouts requirements.

8.0 **OWNERSHIP**

- **8.1** The member is responsible for all costs associated with a balcony enclosure addition and all related building modifications.
- **8.2** Once installation is complete, the member becomes responsible for all costs associated with ongoing maintenance.
- **8.3** Should it become necessary, member is directly responsible for the removable of all or partial enclosure so as to facilitate building maintenance.



RESOLUTION 01-24-XX ENACT STANDARD 39: BALCONY AND PATIO ENCLOSURES

WHEREAS, the Architectural Control and Standards Committee recognizes the need to amend standards and create new standards as necessary; and

WHEREAS, the Architectural Control and Standards Committee recognized the need to enact Standard 39: Balcony and Patio Enclosures;

NOW THEREFORE BE IT RESOLVED, [DATE], the Board of Directors of this Corporation hereby adopts Standard 39: Balcony and Patio Enclosures; and

RESOLVED FURTHER, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

MARCH INITIAL NOTIFICATION: Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 28-days from the postponement to comply with Civil Code §4360.